

**TOWN OF OCONOMOWOC BOARD OF SUPERVISORS  
REGULAR BOARD MEETING  
At the Oconomowoc Town Hall located at  
W359 N6812 Brown Street – Oconomowoc, Wisconsin**

**Monday, October 16, 2023**

**6:00 P.M.**

**AGENDA**

Call to Order

Pledge of Allegiance

Approve Minutes from Regular meeting on October 2<sup>nd</sup>, 2023, and Budget meetings from October 2<sup>nd</sup> and October 9<sup>th</sup>, 2023.

Correspondence.

Comments from the Floor on Agenda items or any other items.

**OLD BUSINESS:**

1. Consider and Act on the 2024 Okauchee Days Cancer Walk for Kids on June 2<sup>nd</sup>, 2024, from 10:00 a.m. to 12:30 p.m.
2. Consider and Act on Resolution 2023-7; A Resolution establishing the Town of Oconomowoc 2024 Fee Schedule.

**NEW BUSINESS:**

1. Consider and Act on the amendment to the Town of Oconomowoc Comprehensive Land Use Plan – 2035 for **Jon Spheeris, 175 Wisconsin Avenue, Suite A, Oconomowoc, Wisconsin on behalf of property owned by Lakelands Inc., W296S7739 Crossgate Drive, Mukwonago, Wisconsin** for property located in part of the S ½ of the SE ¼ of Section 20, T8N, R17E, Town of Oconomowoc (Tax Key No. OCOT 512.994) be amended from the Five (5) Acre Agricultural (5 acre density) category to the Low Density Residential (20,000 square feet to 1.4 acres of area per dwelling unit) category to allow a single family residential subdivision.
2. Consider and Act on the rezoning request (RZ 125) **Jon Spheeris, 175 Wisconsin Avenue, Suite A, Oconomowoc, Wisconsin on behalf of property owned by Lakelands Inc., W296S7739 Crossgate Drive, Mukwonago, Wisconsin**, to rezone the property described below from the A-T Agricultural Transitions District to the R-2 Residential District to develop a single-family residential subdivision. The property located in part of the S ½ of the SE ¼ of Section 20, T8N, R17E, Town of Oconomowoc. More specifically the property is located 250 feet north of the intersection of N. Lake Road and Lac La Belle Drive (Tax Key No. OCOT 512.994).
3. Consider and Act on the Certified Survey Map (CSM) of **Michael and Kathleen Skemp, N65W35115 Road J, Oconomowoc, WI 53066**. The property is described as Lot 19 & part of Lot 20 of the amended Plat of Oakdale part of the SE ¼ of Section 23, T8N, R17E, Town of Oconomowoc (Tax Key No. OCOT 524.020).
4. Consider and Act on the request of **Michael and Kathleen Skemp** for more than two accessory buildings. The property is described as Lot 19 & part of Lot 20 of the amended Plat of Oakdale part of the SE ¼ of Section 23, T8N, R17E, Town of Oconomowoc (Tax Key No. OCOT 0524.020).
5. Consider and Act on the reduction of letter of credit for Snyder Farms for electrical and natural gas facilities in the amount of \$402,196.07.
6. Chairman Hultquist.
7. Supervisor Reports
  - a. John Koepke.
  - b. V.J. Scully.
  - c. Erik Mullett.
  - d. John Roelandts.
8. Public Works Superintendent Salzman.
9. Chief Wraalstad
10. Administrator/Planner Herrmann.
11. Clerk/Treasurer Opitz.
12. Approve Vouchers and Checks.
13. **The Board will enter, by roll call vote, into Closed Session pursuant to State Statue 19.85 (1)(g) conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved (Fire Department)**

**Reconvene to Open Session immediately following the Closed Session**

**14. Adjourn.**

*Note: At times items on the agenda may not be taken in the same order as they appear.*

Members of other governmental bodies (boards, commissions, committees, councils, etc.) may attend the above-mentioned meeting of the Town Board to gather information. The only action to be taken at the above-mentioned meeting will be actions by the Town Board.

NOTICE: If a person with a disability requires that the meeting be accessible or that materials at the meeting be in an accessible format, call the Town Clerk prior to the meeting at 920-474-4449 to request adequate accommodation.

**TOWN OF OCONOMOWOC BOARD OF SUPERVISORS  
REGULAR BOARD MEETING MINUTES**

**October 2, 2023**

Robert C. Hultquist called the meeting to order at 6:00 p.m. Supervisors present included John Koepke, John Roelandts, Erik Mullett and V.J. Scully. Also in attendance were Police Chief Kristen Wraalstad, Highway Superintendent Sam Salzman and Administrator/Planner Jeffrey Herrmann. Clerk/Treasurer Lori Opitz was excused. For additional attendees please see the sign-in sheet.

Those present stood to recite the Pledge of Allegiance

**Approve Minutes from Regular meeting on September 18, 2023.** – Supervisor Scully made the motion to approve September 18, 2023, as presented. Supervisor Roelandts seconded the motion. Motion carried by unanimous voice vote.

**Correspondence.** – None

**Comments from the Floor on Agenda items or any other items.** –

Michael Todd, N52W35098 Lake Drive, stated he likes the Pylon's by Foolery's but feels the speed limit in the area should be slower.

Bob Peebles, N88W37724 Mapleton Road, stated that it would be nice to put out signs in the agricultural area stating "Welcome to the Town of Oconomowoc"; he feels that would be a nice thing to showcase the Town.

**NEW BUSINESS:**

1. **Chief Bowen.** – Gave his monthly report.
2. **Discussion on 2024 Fee Schedule.** – After some discussion, the Board made changes to the rental of the Community Center for the 2024 Fee schedule and this line item will be brought back at the next agenda meeting with a resolution for passing the 2024 Fee Schedule for the Town of Oconomowoc.
3. **Consider and Act on the 2024 Okauchee Days Cancer Walk for Kids on June 2<sup>nd</sup>, 2024, from 10:00 a.m. to 12:30 p.m.** – After some discussion, the Board decided to table this line item and bring this back at the next meeting in hopes that the organizer of the event could be at the meeting to answer some of Police Chief Wraalstad and the Board's questions.
4. **Consider and Act on the rezoning request of (RZ127) Scott D. Tremaine Survivors Trust, N88W37962 Mapleton Road, Oconomowoc, WI 53066 to rezone a portion of their property from the FLP Farmland Preservation District to the R-1 Residential District to divide a five-acre farm consolidation parcel from the parent parcel. The subject property is described as the E ½ of the SE ¼ of Section 5, T8N, R17E, Town of Oconomowoc. More specifically, the property is located at W380 N8856 Mill Street (Tax Key No. OCOT 452.999).** – Supervisor Koepke made the motion made the motion to approve the rezoning request of (RZ127) Scott Tremaine Survivors Trust N88W37962 Mapleton Road to rezone a portion of their property from the FLP Farmland Preservation District to the R-1 Residential District to divide a five-acre farm consolidation parcel from the parent parcel located at W380N8856 Mill Street per the Plan Commission recommendation. Supervisor Mullett seconded the motion. Motion carried by unanimous voice vote.
5. **Consider and Act on Certified Survey Map (CSM) of Scott D. Tremaine Survivors Trust, N88W37962 Mapleton Road, Oconomowoc, WI 53066 for property described as the E ½ of the SE ¼ of Section 5, T8N, R17E, Town of Oconomowoc. More specifically the property is located at W380N8856 Mill Street (Tak Key No. OCOT 452.999).** – Supervisor Roelandts made the motion to approve the certified survey map of Scott Tremaine Survivors

Trust, N88W37962 Mapleton Road for the property located at W380N8856 Mill Street. Supervisor Mullett seconded the motion. Motion carried by unanimous voice vote.

6. **Consider and Act on waiver from Section 265-31 (L) not to show remnant parcel on CSM for Scott D. Tremaine Survivors Trust, N88W37962 Mapleton Road, Oconomowoc, WI 53066 for property described as the E ½ of the SE ¼ of Section 5, T8N, R17E, Town of Oconomowoc. More specifically, the property is located at W380N8856 Mill Street (Tax Key No. OCOT 0452.999).** – Supervisor Roelandts made the motion to approve the waiver from Section 265-31 (L) not to show remnant parcel on CSM for Scott Tremaine Survivors Trust, N88W37962 Mapleton Road for the property located W380N8856 Mill Street. Supervisor Scully seconded the motion. Motion carried by unanimous voice vote.
7. **Discussion on ordinance for the use of Golf Carts on Town Roads.** – Supervisor Mullett explained the ordinance he put together regarding the rules and regulations regarding the use of Golf Carts on Town Roads and he reviewed ordinances from other areas that allow golf carts. After a discussion with everyone involved, the Board decided to establish a fee schedule through a resolution for the use of Golf Cars on Town roads.
8. **Consider and Act on road program for 2024 to include the following roads: Road P, Enchanted Ct., Geitzen Road, Park Bay Road, Jaeckles Blvd, Willow Drive, E. & W. Lindy Lane, Road G, Road H and Nickles Point.** – Highway Superintendent Salzman explained the road program to the Board. Supervisor Roelandts made the motion to approve the road program for 2024 to include the following roads: Road P, Enchanted Ct, Geitzen Road, Park Bay Road, Jaeckles Blvd, Willow Drive, E & W Lindy Lane, Road G, Road H and Nickles Point Road. Supervisor Koepke seconded the motion. Motion carried by unanimous voice vote.
9. **Chairman Hultquist.** – Nothing to report
10. **Supervisor Reports.**
  - a. **John Koepke.** – Spoke about how the Town helped with the rip rap at Tall Pines (Mason Creek)
  - b. **V.J. Scully.** – Questioned the Police Chief for a possible Ordinance prohibiting grass and leaves put on Town roads.
  - c. **Erik Mullett.** – Nothing to report
  - d. **John Roelandts.** – Nothing to report
11. **Public Works Superintendent Salzman.** – Stated the Town septic system is ok, but the well will have to be replaced.
12. **Chief Wraalstad.** – Nothing to report
13. **Administrator/Planner Herrmann.** – Nothing to report
14. **Clerk/Treasurer Opitz.** – Excused
15. **Approve Vouchers and Checks.** – Supervisor Mullett made the motion to approve vouchers and checks subject to Administrator/Planner Herrmann's approval. Supervisor Scully seconded the motion. Motion carried by unanimous voice vote.
16. **The Board will enter, by roll call vote, into Closed Session pursuant to State Statue 19.85 (1)(e) deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified business, whenever competitive or bargaining reasons require a closed session (Village of Lac La Belle)**

**The Board will enter, by roll call vote, into Closed Session pursuant to State Statue 19.85 (1)(g) conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved (Fire Department)**

Supervisor Roelandts made the motion and Supervisor Koepke seconded to go into Closed Session at 6:41 p.m. Voice vote was taken Chairman Hultquist; aye, Supervisor Koepke, aye; Supervisor Roelandts, aye; Supervisor Mullett, aye; and Supervisor Scully, aye. Motion carried.

Supervisor Roelandts made the motion and Supervisor Scully seconded to exit Closed Session and reconvene into Open Session. Voice vote was taken. Chairman Hultquist, aye; Supervisor Koepke, aye; Supervisor Roelandts, aye; Supervisor Mullett, aye; and Supervisor Scully, aye. Motion carried unanimously. Closed session exited at 7:57 p.m.

**Reconvene to Open Session immediately following the Closed Session**

- 17. Adjourn.** – Supervisor Roelandts made the motion to adjourn at 7:58p.m. Chairman Hultquist seconded the motion. Motion carried by unanimous voice vote.

Respectfully submitted –  
Lori Opitz, WCMC  
Clerk/Treasurer

**TOWN OF OCONOMOWOC BOARD OF SUPERVISORS  
SPECIAL TOWN BOARD MEETING MINUTES**

**October 2<sup>nd</sup>, 2023**

Supervisor John Roelandts called the meeting to order at 9:00 p.m. The supervisor's present included Erik Mullett and V.J. Scully. Also in attendance was Highway Superintendent Sam Salzman and Clerk/Treasurer Lori Opitz. Chairman Robert C. Hultquist and Administrator/Planner Jeffrey Herrmann made the meeting around 9:15 a.m. Supervisor John Koepke was excused.

**NEW BUSINESS:**

1. **2023 Budget Work Session.** – The Board worked on the expense side of the Highway Department and the Clerk's department.
2. **Consider and Act on next budget meeting date (if necessary).** – The next budget meeting will be Monday, October 9<sup>th</sup> at 8:00 a.m.
3. **Adjourn.** – Supervisor Mullett made the motion to adjourn at 10:36 a.m. Chairman Hultquist seconded the motion. Motion carried by unanimous voice vote.

Respectfully submitted –  
Lori Opitz, WCMC  
Clerk/Treasurer

**TOWN OF OCONOMOWOC BOARD OF SUPERVISORS  
SPECIAL TOWN BOARD MEETING MINUTES**

**October 9<sup>th</sup>, 2023**

Supervisor John Roelandts called the meeting to order at 8:00 a.m. Supervisor's present included John Koepke, Erik Mullett and V.J. Scully. Chairman Robert C. Hultquist came shortly after the meeting was called to order. Also in attendance were Police Chief Kristen Wraalstad and Administrator/Planner Herrmann. For additional attendees please see sign-in sheet.

**NEW BUSINESS:**

1. **2023 Budget Work Session** – The Board continue to work on the expense side of the budget and then completed the revenue side with some corrections/deductions made.
2. **Consider and Act on next budget meeting date (if necessary)**. – The next meeting will be on Tuesday, October 17<sup>th</sup> at 8:00 a.m.
3. **Adjourn**. – Supervisor Roelandts made the motion to adjourn at 9:30 a.m. Supervisor Mullett seconded the motion. Motion carried by unanimous voice vote.

Respectfully submitted –  
Lori Opitz, WCMC  
Clerk/Treasurer

## **Lori Opitz**

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**From:** oklc.president@gmail.com  
**Sent:** Monday, September 18, 2023 1:23 PM  
**To:** Lori Opitz  
**Subject:** October Council Meeting Request  
**Attachments:** Walk Information for PD.pdf

Lori-

I hope this finds you well! I met with Kristen this morning to review a walk for Okauchee Days 2024 and discussed the proper steps for the approval for help closing Wisconsin Ave on June 2<sup>nd</sup>, 2024, from 10am – 12:30ish ( or when all the walkers have returned to the park). If I could please get on the agenda for October's 2<sup>nd</sup> meeting of the month. I believe the date is 10/16/2023, if you can please confirm this date for me. Attached to this email is the request we have for the 2024 Okauchee Days Cancer Walk for Kids, in cooperation with Childrens Hospital.

Please let me know if you need anything else.

Thanks, and have a great day!

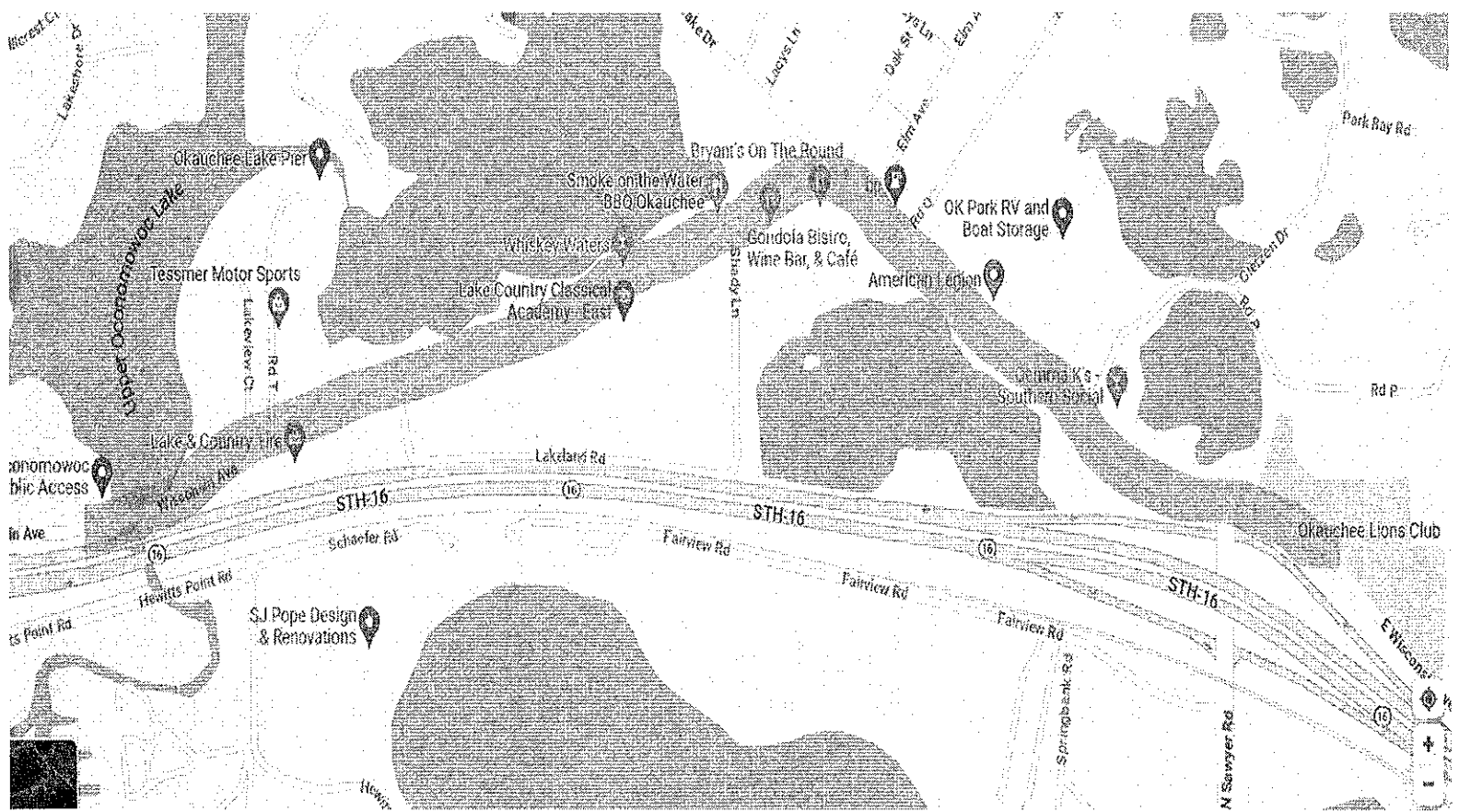
Jason McKellips  
Okauchee Lions Club - President  
Okauchee Lions Community Park,  
N49W34400 E Wisconsin Ave, Okauchee, WI 53069  
Cell - 262-888-3568

# Okauchee Days 2024

Children's Cancer Walk Information







## Walk Path

- Walk starts at Okauchee Lions Park, Turn right out of the parking lot, to downtown Okauchee, go around the round about and head west on Wisconsin Ave to the Public Boat Launch, turn and head back to Okauchee Lions Park.

## Town of Okauchee Police Request

- Close down Wisconsin Ave from the Lions Park to the Boat Launch for the duration of the walk.
- Time start 10a.m. - Noon
- Ensuring a safe walk environment for all.

**RESOLUTION NO. \_\_\_\_\_**

WHEREAS, it is good business practice that the Town Board review as often as necessary the fees and charges for administering permits and for the general administration of the town; and

WHEREAS, from time to time it is necessary to amend permit fees due to the increase in the cost of administration.

NOW THEREFORE, BE IT HEREBY RESOLVED that the attached Town of Oconomowoc 2024 fee schedule be adopted effective January 1, 2024.

BE IT FURTHER RESOLVED that this fee schedule to remain in effect until modified by resolution of the Town Board.

DATED: \_\_\_\_\_

Town of Oconomowoc

By: \_\_\_\_\_  
Robert C Hultquist, Chairman

ATTEST:

\_\_\_\_\_  
Lori L. Opitz, Clerk/Treasurer

TOWN OF OCONOMOWOC  
2024 FEE SCHEDULE

Miscellaneous

Copies 8.5" x 11"	\$0.25 per page
Copies – oversized	\$0.50 per page
Color copies from printer	\$1.25 per page
Fax per page	\$1.50 each
Title (Assessment) Letters	\$30.00 (plus .25 for copy of tax bill)
Meeting Tapes	\$40.00 ea. Jump Drive
Hourly rate for research – Clerk's Office	\$30.00/hr with minimum of 1 hour.
Duplicate copy of tax bill	\$1.00 (each bill) if not their own property
Town Map (laminated in color)	\$5.50
Special meeting charge	\$450.00 (split between applicants)
NSF checks	\$30.00
Land Use Plan	\$35.00

Dogs

Spayed or neutered	\$10.00
Not altered	\$15.00
Late fee per State Law	\$5.00
Hobby Kennel	\$75.00 License fee, plus the cost of public hearing (Minimum \$50.00 or Actual Cost plus professional fees)
Commercial Kennel	\$100.00 (Plus Professional Fees)

Liquor License

Operator Lic.	\$50.00
Renewal Operator Lic.	\$35.00
Late Renewal Operator Lic.	\$40.00
Replacement of operator's Lic. & Card	\$25.00
Cigarette Lic.	\$100.00
Class "A" Beer	\$25.00
Class "A" Liquor	\$500.00
Class "B" Beer	\$100.00
Class "B" Liquor	\$500.00
"Class C" Wine	\$100.00
Soda	\$5.00
Picnic & Wine Cooler	\$10.00
Publication Fee	\$30.00

Rentals

Community Center Rent (Resident)	\$150.00
Community Center Rent (Non-Resident)	\$150.00
Community Center Deposit for both	\$250.00

Permit Fees

Recycle Center	\$20.00
Culvert/Driveway Permit	\$100.00
Road Opening Permit	\$100.00

Other Fees

Planner	\$125.00 per hour
Preliminary Plat & CSM	
Clerical fee	\$200.00
Attorney fees	Time and expense
Engineer fees	Time and expense
Special Plan Commission Items	\$75.00
(Ex: Retaining Walls, Accessory Buildings, Etc)	

## Final submittal – plats

Public Site fee	\$1,219.04 per single family dwelling unit \$998.63 per multi-family dwelling unit
Clerical fee	\$200.00
Re-submittals	\$100.00
Professional fees	Time and expense

Occupancy/Ditch Bond	\$2,000.00
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Mulch/Wood Chip Delivery	\$55.00 per load
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Address Signs (Sign, Pole & Installation)	\$65.00
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Fireworks Permits	\$100.00
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Peddler's Permit	\$100.00 Plus \$20.00 Background Check
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## NEWS ITEM

### NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that a Joint Public Hearing will be conducted by the Town of Oconomowoc Plan Commission and the Town Board on Monday, August 7, 2023, beginning at 5:30 p.m. at the Town of Oconomowoc Town Hall, W359 N6812 Brown Street, Oconomowoc, Wisconsin, to consider an amendment to the adopted Town of Oconomowoc Comprehensive Land Use Plan – 2035. The purpose of the public hearing is to accept public comment on the proposed plan amendment for **Jon Spheeris (Agent/Applicant), 175 E. Wisconsin Avenue, Suite A, Oconomowoc, Wisconsin** on behalf of property owned by **Lakelands Inc., W296 S7739 Crossgate Drive, Mukwonago, Wisconsin** requests property located in part of the S ½ of the SE ¼ of Section 20, T8N, R17E, Town of Oconomowoc (Tax Key No. OCOT 0512.994), be amended from the Five (5) Acre Agriculture (5 acre density) category to the Low Density Residential (20,000 square feet to 1.4 acres of area per dwelling unit) category to allow a single family residential subdivision.

Written comments on the plan amendments may be submitted to the Town Clerk until the close of business (4:00 p.m.) on March 6<sup>th</sup>, 2023, or at the public hearing. A copy of the proposed amendment to the Town of Oconomowoc Comprehensive Land Use Plan is available for public viewing at the Town of Oconomowoc Town Hall located at W359 N6812 Brown Street, Oconomowoc, Wisconsin.

Upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to obtain copies of the materials you can contact Jeff Herrmann, Administrator-Planner or Lori Opitz, Clerk-Treasurer at W359 N6812 Brown Street, Oconomowoc, Wisconsin 53066 or (920) 474-4449.

All interested parties will be heard

**OCONOMOWOC TOWN BOARD**  
**Robert C. Hultquist**  
**Town Chairman**

**OCONOMOWOC PLAN COMMISSION**  
**Robert B. Peregrine**  
**Plan Commission Chairman**

## NOTICE OF PUBLIC HEARING

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NOTICE IS HEREBY GIVEN that a Public Hearing will be conducted by the Waukesha County Park and Planning Commission at 1:00 p.m., on Thursday, August 17, 2023, in Room AC 255/259, of the Waukesha County Administration Center, 515 W. Moreland Boulevard\*, Waukesha, WI, 53188, to consider an amendment to the Comprehensive Development Plan for Waukesha County adopted by the Waukesha County Board of Supervisors, on February 24, 2009. The area of amendment includes the following specific site and/or plan request:

3. In the Town of Oconomowoc, the following request is being made:

- B. **Jon Spheeris**, 175 E. Wisconsin Ave., Suite A, Oconomowoc, WI, 53066, representing property owned by **Lakelands, Inc.**, W296 S7739 Crossgate Drive, Mukwonago, WI, 53149-8774, requests property located in part of the S ½ and SE ¼ of Section 20, T8N, R17E, Town of Oconomowoc (Tax Key No. OCOT 0512.994), be amended from the Rural Density and Other Agricultural Land category (5.0 to 34.9 acres of area per dwelling unit or equivalent density) to the Low Density Residential category (20,000 sq. ft. to 1.4 acres of area per dwelling unit), to allow for the development of a single-family residential subdivision.

Following the Public Hearing, the staff will evaluate public input and prepare a formal recommendation for the above-cited issue to be presented to the Waukesha County Park and Planning Commission, Waukesha County Land Use, Parks and Environment Committee and the Waukesha County Board of Supervisors for final consideration at subsequent scheduled meetings.

The plan amendment request file is available for viewing and copying in the offices of the Waukesha County Planning and Zoning Division located in Room AC 230 of the Waukesha County Administration Center located at 515 W. Moreland Blvd., Waukesha, WI, 53188.

For more detailed information on the above request, please contact Jason Fruth at (262) 548-7790.

All interested parties will be heard.

A quorum of the Waukesha County Board or its Committees may be present.

**\*Please note: Due to controlled access screening, you must enter the building via the main entrance of the Courthouse, located at 515 W. Moreland Blvd.**

WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE

Dale R. Shaver, Director  
515 W. Moreland Blvd., Room AC 260  
Waukesha, WI 53188

Legal Notice to be published in the  
Waukesha Freeman on  
July 18, 2023.



Town of Oconomowoc  
W359 N6812 Brown Street  
Oconomowoc, WI 53066  
Tel: (920) 474-4449 Fax: (920) 355-4091

**PETITION TO AMEND THE TOWN OF OCONOMOWOC  
COMPREHENSIVE LAND USE PLAN - 2035**

LAND USE PLAN AMENDMENT NO.: \_\_\_\_\_ TAX KEY NO.: OCOT0512994  
CURRENT TOWN LAND USE DESIGNATION: A-T  
PROPOSED TOWN LAND USE CLASSIFICATION: A-2  
CURRENT USE(S) OF THE SUBJECT PROPERTY: Vacant Farmland  
PROPOSED USE(S) OF THE SUBJECT PROPERTY: Single Family Subdivision  
LEGAL DESCRIPTION OF PROPERTY: See the attached

PROPERTY SIZE (SQ. FT. & ACRES): 39, 33 acres

REASONS WHICH JUSTIFY THE PROPOSED CHANGE:

Neighboring properties are all single family  
being to the South, North and West  
with similar lot sizes

PROPERTY OWNER (must be the applicant) NAME, MAILING ADDRESS & DATE:

Jon Speeris  
Printed Name \_\_\_\_\_ Date \_\_\_\_\_  
175 E Wisconsin Ave, Suite A  
Mailing Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Oconomowoc Wis 53066  
Property Address (if different from Mailing Address) City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
262-490-5558 — jon@cb-e/te.com  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ Email \_\_\_\_\_

The following information must be submitted with this application:

1. Two (2) copies of an accurate site plan/map or plat of survey (preferred) drawn to scale, showing the location of the proposed zoning district boundaries, the location on use of the buildings on the subject property, and the use of all properties within 300 feet of the subject property.
2. The Town of Oconomowoc professional services reimbursement notice.

Name of Property Owner: Lakeland, Inc  
Signature: Donal Burt  
Date: 6/13/2023

**\*THE OWNER MUST SIGN THIS APPLICATION\***

**\*\*Owner must apply with Waukesha County for a possible amendment to the Waukesha County Development Plan.\*\***

### REZONE PARCEL DESCRIPTION

UNPLATTED LANDS BEING PART OF THE SE 1/4 AND PART OF THE SW 1/4 OF THE SE 1/4 OF SECTION 20, TOWN 8 NORTH, RANGE 17 EAST, TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

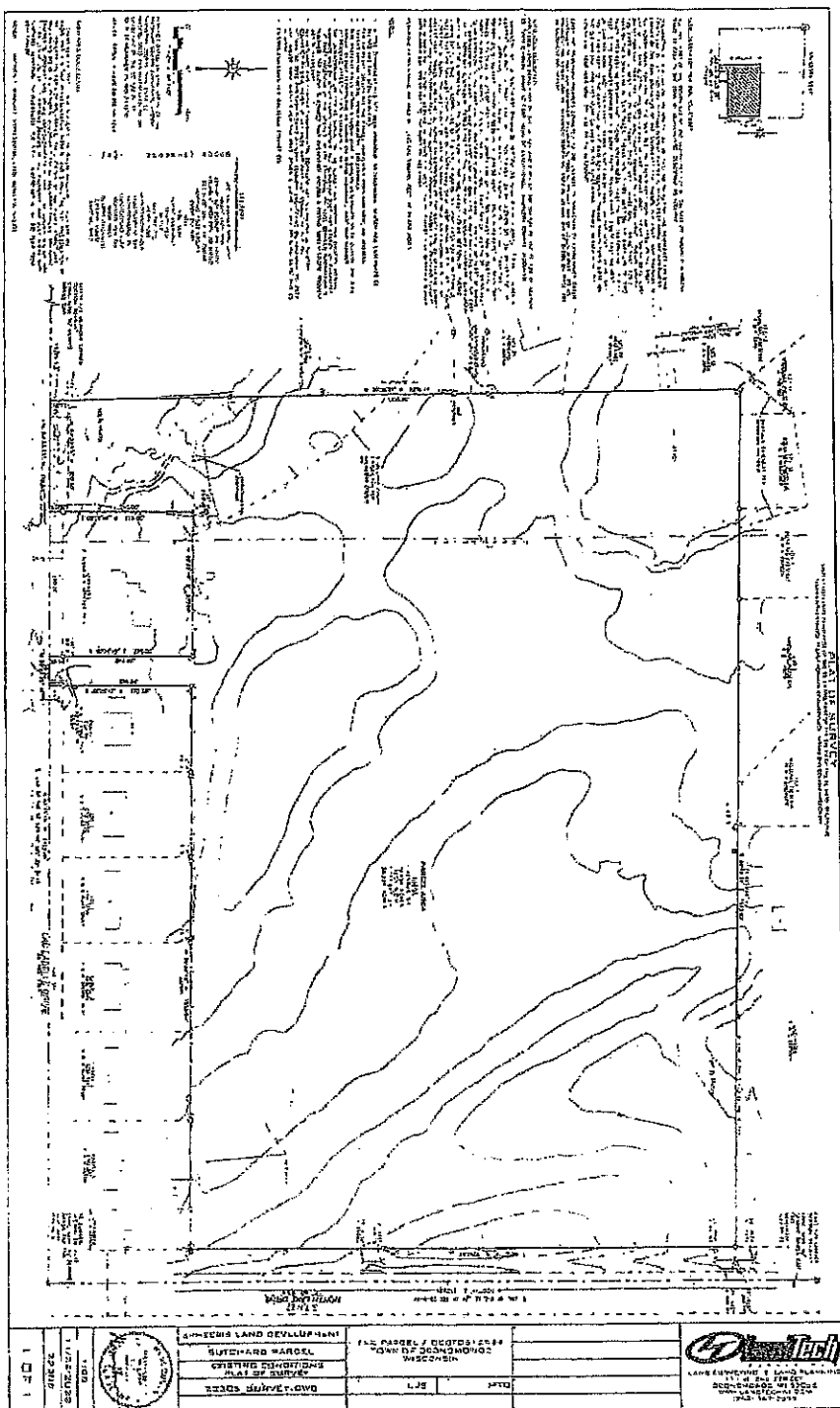
COMMENCING AT THE SOUTHEAST CORNER OF SECTION 20, TOWN 8 NORTH RANGE 17 EAST, THENCE N 89°33'15" W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 20, 1091.50 FEET TO THE POINT OF BEGINNING; THENCE N 89°33'15" W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 20, 55.95 FEET; THENCE N 00°26'45" E, 275.00 FEET; THENCE N 89°33'15" W, 270.00 FEET; THENCE S 00°26'45" W, 275.00 FEET TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 20; THENCE N 89°33'15" W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 20, 199.50 FEET TO AN EXTENSION OF THE EAST LINE OF CERTIFIED SURVEY MAP 4345; THENCE N 00°35'27" W, ALONG THE EXTENSION OF THE EAST LINE AND SAID EAST LINE OF CERTIFIED SURVEY MAP 4345 AND THE EAST LINE OF WOODLAKE SUBDIVISION, 1336.97 FEET TO THE SOUTH LINE OF WOODLAKE PRESERVE SUBDIVISION ALSO BEING THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 20; THENCE S 88°46'24" E, ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 20, 1573.83 FEET TO THE WEST RIGHT-OF-WAY OF NORTH LAKE DRIVE ALSO KNOWN AS S.T.H. 67; THENCE S 00°07'14" W, ALONG THE WEST RIGHT-OF-WAY OF NORTH LAKE DRIVE ALSO KNOWN AS S.T.H. 67, 1042.41 FEET; THENCE N 89°34'18" W, ALONG AN EXTENSION OF THE NORTH LINE OF CERTIFIED SURVEY MAPS 661 AND 1341, 1030.04 FEET TO THE NORTHWEST CORNER OF PARCEL 1 OF CERTIFIED SURVEY MAP NUMBER 661; THENCE S 00°25'42" W, ALONG THE WEST LINE OF PARCEL 1 OF CERTIFIED SURVEY MAP NUMBER 661, 272.59 FEET TO THE POINT OF BEGINNING.

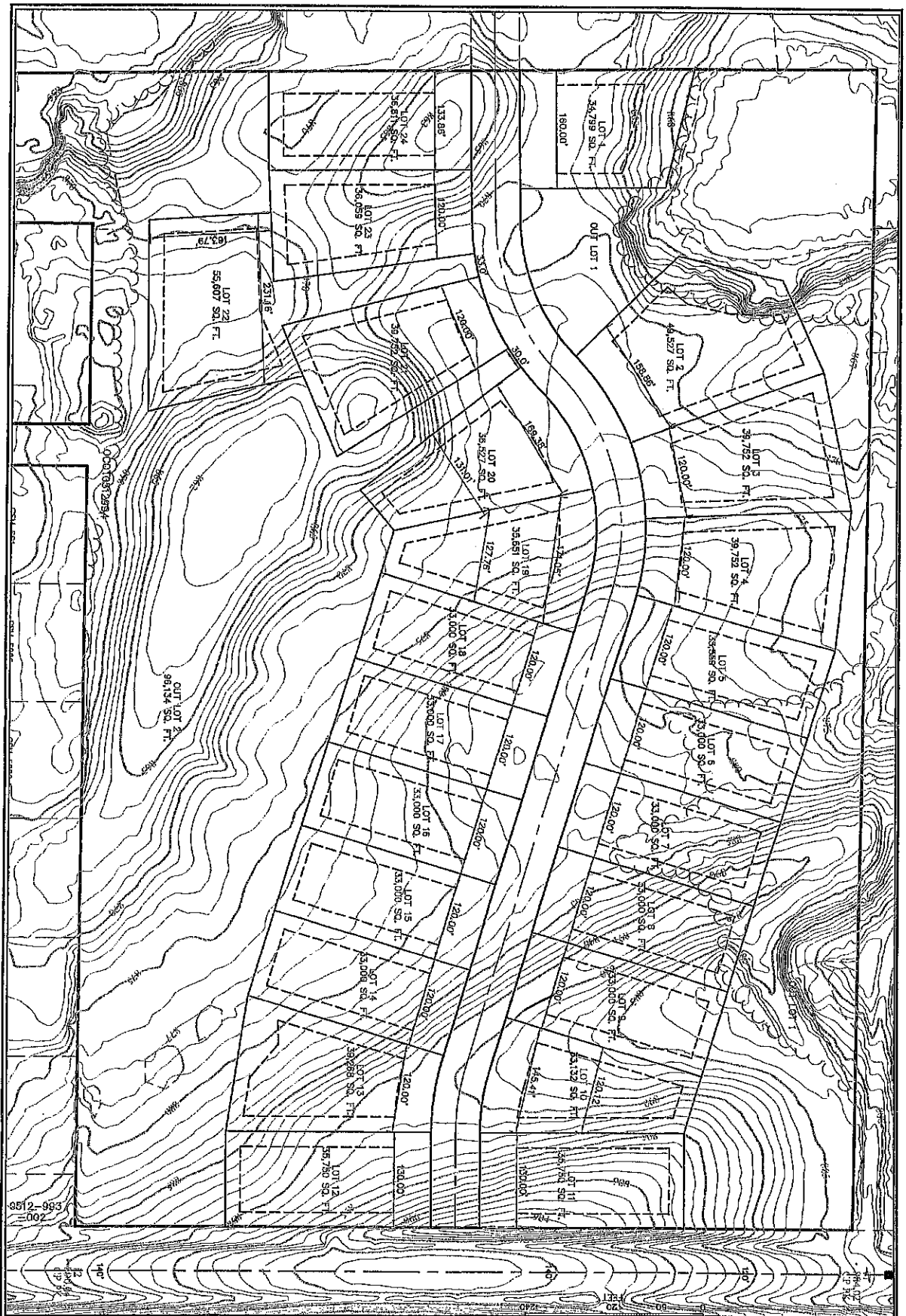
DESCRIBED LANDS HAVING AN AREA OF 1,720.086 SQUARE FEET OR 39.488 ACRES.

Prepared By:

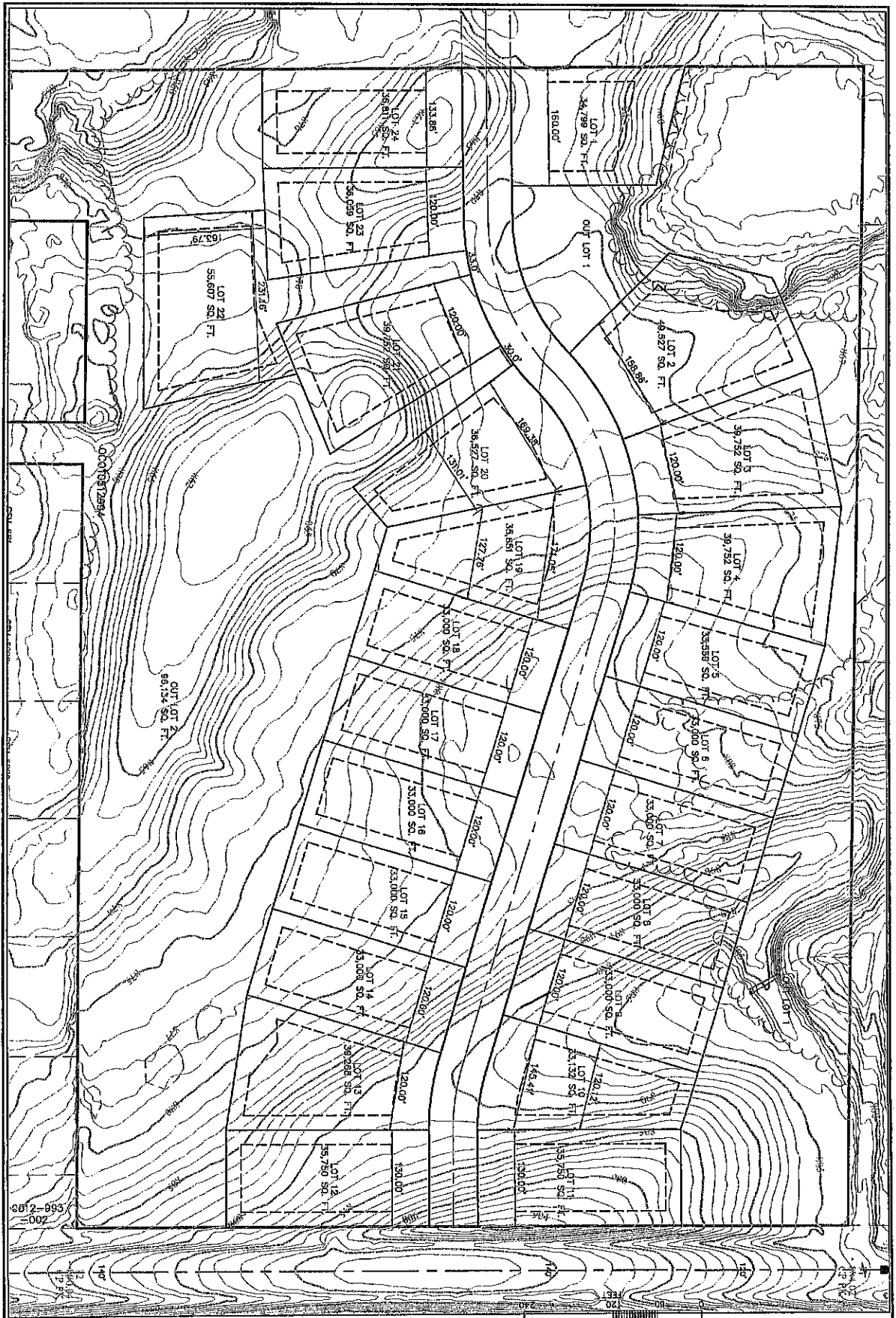


111 WEST 2<sup>ND</sup> STREET  
OCONOMOWOC, WISCONSIN  
262-367-7599



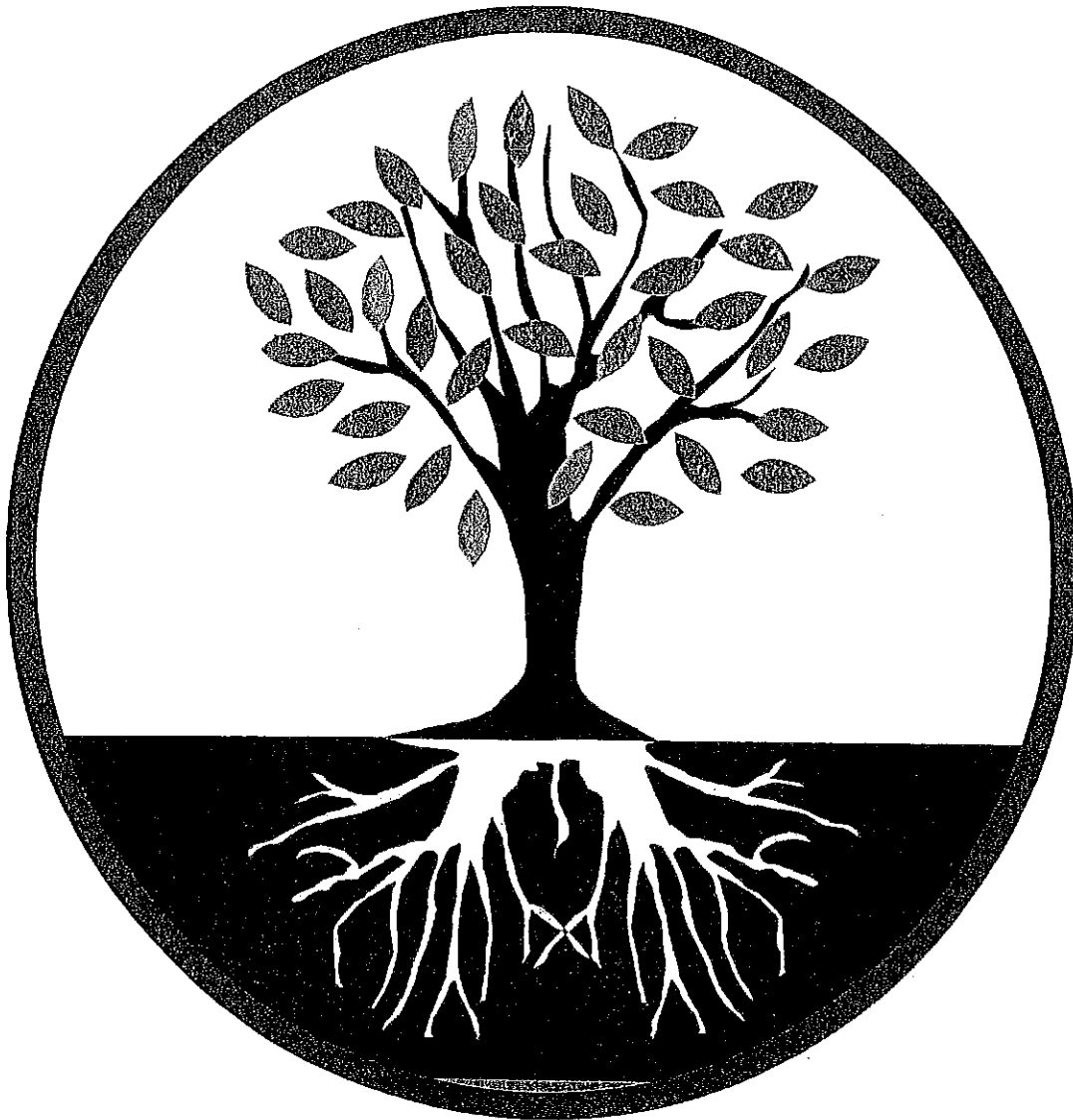


<div>1 OF 2</div>		<div>CONCEPTUAL LAND USE PLAN (2)</div> <div>BUTCHART PROPERTY SPHEREIS DEVELOPMENT</div> <div>TAX KEY # OCOT 0512994</div> <div>SE 1/4 S20, T8N, R17E, TOWN OF OCONOMOWOC</div>	<div>LAKE COUNTRY ENGINEERING, INC.</div> <div>Consulting Engineers - Surveyors</div> <div>570 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066</div> <div>Phone (262) 589-5331 Fax (262) 589-3215</div>	<div>SCALE: 1" = 150'</div> <div>DRAFTED BY: RADJAY</div> <div>CHECKED BY: JES-LS</div> <div>DATE: December 16, 2022</div>	<div>REVISION</div> <div>DATE</div> <div>REMARKS</div>
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<div><div></div><div>SCALE 1" = 120'</div></div> <div></div>													
<div>SHEET # 1 OF 2</div>	<div>PROJ. # 22-3461</div>	<div>CONCEPTUAL LAND USE PLAN (2) BUTCHART PROPERTY SPHERE'S DEVELOPMENT TAX KEY # 00010512994 SE 1/4 S20, T8N, R17E, TOWN OF OCONOMOWOC</div>	<div><div><b>LAKE COUNTRY ENGINEERING, INC.</b> <i>Consulting Engineers - Surveyors</i> 870 S. Silver Lake Road, Suite 105, Oconomowoc, WI 53066 Phone (608) 539-9331 Fax (608) 539-9332</div><div>SCALE 1" = 150' DRAFTED BY: RUDAVY CHECKED BY: RUDAVY DATE: December 15, 2022</div></div>	<table><tr><th>REVISION</th><th>DATE</th><th>REMARKS</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	REVISION	DATE	REMARKS						
REVISION	DATE	REMARKS											

# LAND RESOURCES DIVISION SITE ASSESSMENT



Butchart Property  
Town of Oconomowoc, Section 20

September 19, 2023

## **Contents**

- Section I - Parcel Location**
- Section II - Soils Information**
- Section III - Topography**
- Section VI - Environmental Corridors**
- Section V - Wetlands**
- Section VI - Endangered Resources**
- Section VII - Archeological and Historical Survey**
- Section VIII - Stormwater Management and Erosion Control**
- Section IX - Stormwater Evaluation**

### **References**

## **Exhibits**

- A - Parcel Map and Topography**
- B - Soil Properties Map**
- C - Potential for Stormwater Infiltration Map**
- D - Environmental Corridor Map**
- E - DNR Wetland Map**
- F - Soil Testing Required for Basements Map**

## **Forms**

**Permit Review Flow Chart**

**Plan Review Fee Schedule**

**Application Form (Sites >1 acre)**

**Checklist #1 – Existing and Proposed Site Map (Sites >1 acre)**

**Checklist #2 – Construction Site Erosion Control Plan (Sites >1 acre)**

**Checklist #3 – Stormwater Management Plan**

**Checklist #4 – Certification of Compliance**

**Basement Wetness and Flooding Prevention Standards**

**BER Review Request Form (to be submitted to Waukesha Co. not the DNR)**

## **I. Parcel Location**

The subject parcel is located in the southeast ¼ of Section 20 in the Town of Oconomowoc. **See Exhibit A.**

## **II. Soils Information**

Soil maps and descriptions are taken from the Wisconsin Soil Survey Database (SSURGO). Additional technical information on the suitability of a soil for a particular land use is contained in the NRCS Wisconsin Field Office Technical Guide. **See Exhibits B and C.** The soil map results are discussed in Sections VIII and IX, below.

## **III. Topography**

Topographic maps provide information on elevations, slopes, and drainage patterns. Watershed boundaries can be delineated on topographic maps to help determine peak runoff for specified storm events. A topographic map of the parcel in question with a two-foot contour interval is found in **Exhibit A.**

## **IV. Environmental Corridors**

Environmental corridors are those areas that encompass concentrations of recreational, aesthetic, ecological, and cultural resources. They usually consist of one or more of the seven natural resource elements and one or more of five resource-related elements. The seven natural resource elements include: 1) lakes, rivers, and streams and their associated shore lands and flood lands; 2) wetlands; 3) woodlands; 4) prairies; 5) wildlife habitat areas; 6) wet, poorly drained, and organic soils; and 7) rugged terrain and high relief topography. The five resource-related elements include: 1) existing park and open space sites; 2) potential park and open space sites; 3) historic sites; 4) scenic areas and vistas; and 5) natural and scientific area sites.



Primary environmental corridors are those areas that contain a number of the above-mentioned elements and are at least 400 acres in size, two miles in length, and 200 feet in width. Secondary environmental corridors generally connect with primary environmental corridors and are at least 100 acres in size and one mile in length. In addition, isolated natural areas are at least 5 acres in size and consist of smaller concentrations of the natural resource base elements. These areas are separated physically from the environmental corridors by urban or agricultural land use but still provide valuable wildlife habitat and aesthetic value (SEWRPC, 1989). **See Exhibit D.**

## **V. Wetlands**

Wetlands are now recognized as providing a multitude of public benefits including flood storage, pollutant removal, groundwater recharge and discharge, and shoreline protection. In addition wetlands provide valuable and productive habitats for many fish, wildlife, and plant species and often provide scenic open spaces and opportunities for outdoor education. The ability of a particular wetland to provide specific functions depends upon many variables including: wetland type, size, geographic location, and surrounding land use. **See Exhibit E.** Protective area setbacks are required from wetlands. Impervious surfaces and land disturbance restrictions apply within the protective areas in accordance with the Waukesha County Code of Ordinances and Chapter NR 151 Wisconsin Administrative Code.

## **VI. Endangered Resources**

The Wisconsin Endangered Species Law (s. 29.604, Wis. Stats.) requires the protection of our State's endangered and threatened species. The law prohibits the take, or destruction, of state-listed animals on any lands without a taking authorization. For listed plants, the law prohibits taking where it occurs on public land only, except in the course of forestry, agriculture or utility actions. As an authorized local program, Waukesha County is obligated to assist in implementation of this law.

The permit applicant must provide a review letter from the State Bureau of Endangered Resources before either preliminary or final plans will be approved by the Land Resources Division. The BER review letter will state what, if any, special measures must be taken to protect endangered resources on the site.

## **VII. Archeological and Historical Survey**

Upon receipt of a permit application, Waukesha County staff will perform a review of the Wisconsin Historical Society databases for historic structures, archeological sites, burial sites, archeological survey areas, and archeological reports. The screening results will be submitted to the State Division of Historic Preservation for evaluation. Pertinent results of the State's evaluation will be communicated to the permit applicant within the bounds of the DHP's confidentiality requirements.

## VIII. Stormwater Management and Erosion Control

The Stormwater Management and Erosion Control Ordinance has been adopted by the Waukesha County Board under the authority granted by 92.07(15), 59.693 and 236 Wisconsin Statutes. This ordinance applies to all lands within the jurisdictional boundaries of Waukesha County. Waukesha County is authorized by the Wisconsin Department of Natural Resources to issue NR 216 permit coverage. This allows for permit applicants to obtain both County and State Coverage through a single stormwater permit.

**Applicability** – No person may commence a land disturbing or land development activity subject to this ordinance without first receiving a stormwater permit from the LRD.

The erosion control provisions of the ordinance apply to the following land disturbing activities:

1. Any activity that disturbs a total land surface area of 3,000 square feet or more;
2. Excavation or filling, or a combination of excavation and filling in excess of 400 cubic yards of material;
3. Installation, repair, replacement or enlargement of underground utility, pipe or other facility, or the disturbance of road ditch, grass swale or other open channel for a distance of 300 feet or more; or
4. A land disturbing activity, regardless of size, that the LRD determines is likely to cause an adverse impact to an environmentally sensitive area or other property, or may violate any other erosion control standard set forth in the county ordinance.

The stormwater management provisions of the county ordinance apply to all proposed land development activities that meet any of the following:

1. Is a subdivision plat; or
2. Is a certified survey map or any other land development activity that may ultimately result in the addition of 0.5 acres or greater of impervious surfaces, including smaller individual sites that are part of a common plan of development that may be constructed at different times; or
3. Involves the construction of any new public or private road; or
4. Is a land development activity, regardless of size, that the LRD determines is likely to cause an adverse impact to an environmentally sensitive area or other property. Adverse impacts include causing chronic wetness on other property due to reoccurring discharges of stormwater, or violating any other stormwater management standard set forth in the county ordinance.

A person desiring to undertake land disturbing or land development activities as described above, shall submit to the LRD an application for a stormwater permit, erosion control and stormwater management plans for review, and pay the appropriate application fee. Submittal of an application authorizes the LRD to enter upon the subject site to obtain information necessary to administer the ordinance.

**Erosion Control Plan** – An erosion control plan shall describe how the permit holder and other responsible party will minimize, to the maximum extent practicable, soil erosion and the transport of sediment from land disturbing activities to waters of the state or other property.

Guiding Principles for Erosion Control – An erosion control plan shall, to the maximum extent practicable, adhere to the following guiding principles:

1. Propose grading that best fits the terrain of the site, avoiding steep slopes, wetlands, floodplains and environmental corridors;
2. Minimize, through project phasing and construction sequencing, the time the disturbed soil surface is exposed to erosive forces;
3. Minimize soil compaction, the loss of trees and other natural vegetation and the size of the disturbed area at any one time;
4. Locate erosion control BMPs upstream from where runoff leaves the site or enters waters of the state and outside of wetlands, floodplains, primary or secondary environmental corridors or isolated natural areas; and,
5. Emphasize the use of BMPs that prevent soil detachment and transport over those aimed to reduce soil deposition (sedimentation) or repair erosion damage.

**Stormwater Management Plan** – A stormwater management plan shall describe how the permit holder and other responsible party will meet the stormwater management requirements of the Stormwater Management and Erosion Control Management Ordinance. All stormwater management plans and associated BMPs shall comply with the planning, design, implementation and maintenance requirements described in the ordinance.

Guiding Principles for Stormwater Management – A stormwater management plan shall, to the maximum extent practicable, adhere to the following guiding principles:

1. Preserve natural watershed boundaries and drainage patterns;
2. Reserve adequately sized areas for stormwater infiltration, detention and treatment early in the site planning process;
3. Locate stormwater BMPs prior to runoff leaving the site or entering waters of the state, and outside of wetlands, floodplains, primary or secondary environmental corridors or isolated natural areas;
4. Minimize soil compaction and maintain pre-development groundwater recharge areas;
5. Minimize impervious surfaces and have them drain to vegetated areas for pollutant filtering and infiltration;
6. Emphasize vegetated swales, warm season and wetland plantings, and low flow velocities for stormwater conveyance, treatment and infiltration, especially for transportation related projects;

*Note: Tall, dense, deep-rooted vegetation and low flow velocities in open channels encourages infiltration and increases their effectiveness for runoff pollutant removal. Check dams may also be included in the swale design to slow*

*runoff flows and improve pollutant removal. Soil amendments such as compost can help reduce soil compaction and increase infiltration.*

7. Allow for different stormwater management strategies for cleaner runoff (i.e. roofs) versus more polluted runoff (i.e. heavily used streets and parking lots);
8. Provide for emergency overflow in all stormwater BMP designs;
9. Distribute stormwater bioretention and infiltration BMPs throughout the site plan for large land developments.

Structure protection and safety – Flows generated by the 100-year, 24-hour design storm under planned land use conditions may exceed the design capacity of conveyance systems, but shall not come in contact with any buildings. For buildings designed for human occupation on a regular basis, the following additional requirements shall apply:

1. The lowest elevation of the structure that is exposed to the ground surface shall be a minimum of two (2) feet above the maximum water elevation produced by the 100-year, 24 hour design storm, including flows through any stormwater BMP that may temporarily or permanently store water at a depth of greater than one (1) foot; and
2. The structure shall be set back at least 50 feet horizontally from any stormwater BMP that may temporarily or permanently store water at a depth of greater than one (1) foot. Setback distance shall be measured from the closest edge of water at the elevation produced by the 100-year, 24-hour design storm.
3. Structures must also be set back 50 feet horizontally and 2 feet vertically from the 100-year water surface elevation in internally-drained areas, during frozen-ground runoff events.

Subsurface Drainage – Basement floor surfaces shall be built one (1) foot above the seasonal high water table elevation, as documented in the submitted soil evaluations, and shall avoid hydric soils as much as possible. Soil evaluations are required for establishing the minimum basement floor elevation in an area that meets any one of the following criteria:

1. *Within a soil series classified by the NRCS as having a seasonal high groundwater table within 3 feet of the surface, or have historically demonstrated poor drainage features locally (Exhibit X). See Exhibit F.*
2. *Where nearby on-site soil evaluations show indicators of seasonal high water table less than 8 feet from the ground surface*
3. *Within 8 vertical feet of wetlands, or surface water features (lake, stream, pond, etc.), or soils classified as <1 foot to the seasonal high water table (hydric soils)*
4. *Within other areas that the LRD determines to be at risk of shallow water table based on site topography, historical records, drainage patterns, observed hillside seeps or other indicators.*

## **IX. Stormwater Evaluation**

**Receiving Waterbody – Lac Labelle**

**Watershed Name – Rock River**

**Discharge Points from Site** – Southwest corner of site (1.5 ac of developable land) discharges to wetland abutting S Woodlake Circle. Two valleys on northeast side of site discharge through adjacent lots to wetland abutting Labelle. Two large and two small depressions on south, west, and northwest sides of site intercept discharge and likely discharge only in large storm events, if at all. About 75% of the site is internally drained.

**Applicable Design Standards / Goals and Objectives**

1. **Infiltration** – For low-density residential: 90% of pre-development infiltration volume (shall not be less than 25% of the post-developed 2-year storm runoff). Increased discharge volume to northeast may be required to match existing discharge volume.
2. **Water Quality** – The County ordinance requires 80% total suspended solids removal on an average annual basis. See Rock TMDL for total phosphorus requirement.
3. **Peak Flows** – Post-developed discharge rates shall be no greater than the pre-development discharge rates for the 1-, 2-, 10-, and 100-year storm events.

**Feasible Practices** – The internally drained part of site is required to maintain that condition. Three of the existing kettles infiltrate runoff successfully. The wet kettle in northwest corner is exposed groundwater, and cannot be used as BMP.

**Land Divisions, Zoning and Stormwater Management Planning** – In order to help resolve the spatial and soils issues involved in site-planning and stormwater management, we recommend that you apply for **preliminary stormwater review letter** from the Land Resources Division (LRD) before submitting the Certified Survey Map to the Planning and Zoning Division. See the attached checklists for submittal requirements. Soil borings/tests in each proposed stormwater facility locations are required.

**Other Requirements**

1. A refundable financial assurance and approval of a stormwater management practice maintenance agreement will be required prior to permit issuance.
2. The permit applicant is required to retain a professional engineer licensed in Wisconsin to be responsible for achieving compliance with approved construction plans, including the implementation of the approved inspection plan and verification of construction.
3. If warm season or wetland plantings are involved, the permit holder shall also provide a landscape architect or other qualified professional to oversee and verify the planting process and its successful establishment.

## REFERENCES

USDA Natural Resource Conservation Service, Soil Survey of Milwaukee and Waukesha Counties, 1971.

USDA Natural Resources Conservation Service, Wisconsin Field Office Technical Guide.

Southeastern Wisconsin Regional Planning Commission, Community Assistance Planning Report #137, A Park and Open Space Plan for Waukesha County, 1989.

Southeastern Wisconsin Regional Planning Commission, Community Assistance Planning Report #209, A Development Plan for Waukesha County, 1996.

Southeastern Wisconsin Regional Planning Commission Planning Report #42, A Regional Natural Areas and Critical Species Habitat Protection and Management Plan for Southeastern Wisconsin, 1997.

Waukesha County Department of Parks and Land Use, Waukesha County Land and Water Resource Management Plan, 2012 Update, 2012.

## Jeff Herrmann

---

**From:** Rob Davy <RobD@lce.biz>  
**Sent:** Monday, October 2, 2023 7:31 AM  
**To:** Jeff Herrmann; Jacob Heermans  
**Cc:** Jon Spheeris; Matthew Spheeris; Alex Spheeris; Mark Mickelson; Hauge, Leif  
**Subject:** Butchart Lands  
**Attachments:** 22-3481 BUTCHART LANDS DEV NARR 09-28-23.pdf

Jeff,

Per our meeting on September 19, 2023 please see attached a PDF of my development narrative addressing the sight distance of the intersection, and N. Lake Drive, the basic plan of how we will design the storm water management on the site so it will not impact the neighbors, and how the seasonal high ground water will be designed for.

Let me know if you anything else for the next meeting?

Call with questions.

Thanks

Rob Davy  
LAKE COUNTRY ENGINEERING  
970 S. Silver Lake Street, Suite 105  
Oconomowoc, WI 53066  
(262) 569-9331 (off)  
(262) 366-1633 (cell)

# LAKE COUNTRY ENGINEERING, INC.

Rob Davy, P.E.

## Development Plan Narrative

**Butchart Lands, TK# OCOT0512994**

Town of Oconomowoc, Waukesha County, WI

Project No: 22-3481

September 29, 2023

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The Butchart Lands proposed project is to add 23 residential lots to a 39.1-acre parcel with 1.81 acres of wetlands and 1.40 acres of P.E.C. (Exhibit A).

The first item is location of the subdivision road where it intersects with N. Lake Drive. On September 18, 2023, a mark was painted on the side of N. Lake Drive where this new Center Line will be located. Pictures were taken in both directions of cars approaching this point (Exhibit B). The pictures included show cars approaching the intersection from both the north and south direction; the cars could be seen the entire distance needed to meet the sight distance requirements. At preliminary plat time we will demonstrate (using actual grades located on the road and a plan profile) that this intersection meets the AASHTO requirements for sight distance at intersections.

The second item is the storm water design of the site. The site generally has 4 discharge points. One to the Northeast, one to the Southwest, and one to the Northwest, and one in the North Middle.

Over half of the area on this property will drain to the wetlands in the Southwest corner of the property, and a majority of this area drains to an isolated kettle on-site. In theory, we would have wet pond fore bay draining into an infiltration cell. With the presence of the high ground water at times, the infiltration cell would need to get the overburden (silty and sandy clay) removed and replaced with sand and very fine sand excavated from the wet pond. This would create an infiltration layer where the storm water will drain into the existing sand and very fine sand layer where the ground water is currently flowing underground to the wetlands in the Southwest corner of the site where it flows into a wetland's complex west of S. Woodlake Road and eventually into Lac LaBelle.

The Northeast and Northwest drainage areas will have a similar design with the storm water from the Northwest drainage area flowing into the isolated wet kettle in that corner, and storm water from the Northeast flowing through an existing 24" concrete culvert and into the wetlands in the Northeast corner of the property.

The storm water flowing off the site in the North Middle of the site will be limited to just parts of the homes and rear yard grass of the lots to keep the storm water flows the same or less than the storm water currently flowing there.



Please note that per the County ordinance a development once completed can not discharge any more storm water under proposed conditions than what was being discharged under existing conditions.

Also note that a subdivision like this one with 30,000 sq.ft. lots, a minimal road pattern, and over 17.5 of the 39.1 acres of outlot that will be primarily grass, in theory, will generate less overland storm water than a row cropped field.

The third item is how the new storm water BMP's will affect the existing homes on Lac LaBelle Drive.

Using the existing topo information to estimate the ground grade at each house, then visibly looking to estimate how much of their foundations is sticking out of the ground and using a 9' foundation wall, I calculated the approximant basement elevation of each house (see Exhibit D). The lowest basement elevation was calculated to be 862+/- . The soil boring in the bottom of the kettle is at 861.63 and the ground water estimated at 852.4 from the soil test performed at this location.

Note that the wetlands west of this location is at an elevation 855 or lower. The basements at the western end of Lac LaBelle Drive are above the ground water.

One of the areas of concern is at the eastern end of Lac LaBelle Drive where there are delineated wetlands in the middle of the field. The estimated ground water at this point is 869.3, approximately 3' above the basement to the south of this location. The objective here will be to create a swale leading the water from this area and into the bottom of the kettle where it will be captured in the storm water BMP created and away from the properties to the south.

Another swale created in the outlot behind Lots 21 and 22, above the proposed 100-year storm elevation of the kettle in this outlot, but below the existing 100-year frozen flood elevation of the existing kettle, to ensure the neighbors to the south are not flooded during a spring thaw.

The fourth item is in the Northwest corner of the site were there is an isolated kettle with wetlands in it. This kettle extends off site. The highest low point (emergency overflow) of this kettle is approximately 866.5 and the flow path is shown in blue arrows in Exhibit D.

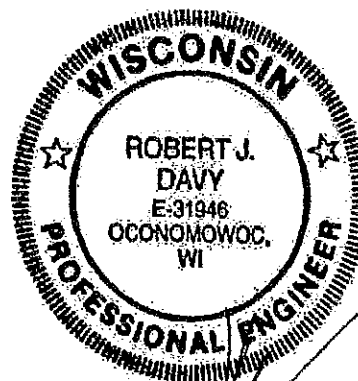
The existing 100-year frozen flood elevation of this isolated kettle will be calculated and the storm water design will need to make sure the proposed 100-year frozen flood elevation of this isolated kettle's elevation will be at or lower than the existing one.

The fifth item is how the seasonal high ground water will affect the basement elevations. All of the lots have been laid out to have access to an outlot, with 17 of the 23 lots are able to be fully exposed. All of the lots will either need to show that the basement will either be 1 foot above seasonal high ground water or prove they can get the basement footing to gravity drain somewhere.

Lots 1-3, and 8-21 are anticipated to be full walk out basements so getting a drain tile below the basement floor to gravity drain should not be an issue. There is enough drop in Outlot 2 for Lots 22 and 23 basement's drain tile to gravity drain. An easement will be granted to these lots to install and maintain the drain system. A storm sewer will be installed in Outlot 1 behind Lots 3, 4, and 5 for Lot's 4 and 5 basements drains to drain into. Lots 6 and 7 have the most drainage issues. To address Lots 6 and 7 drainage issues a Form "A" will be completed for these 2 lots and the subdivision will be designed such that these basements will be above 1' above the seasonal high ground water elevation.

All of the builders will be required to submit a Form "A" and comply to the seasonal high ground water elevations or submit a design that conforms to the County design requirements to get the basement floor to gravity drain properly.

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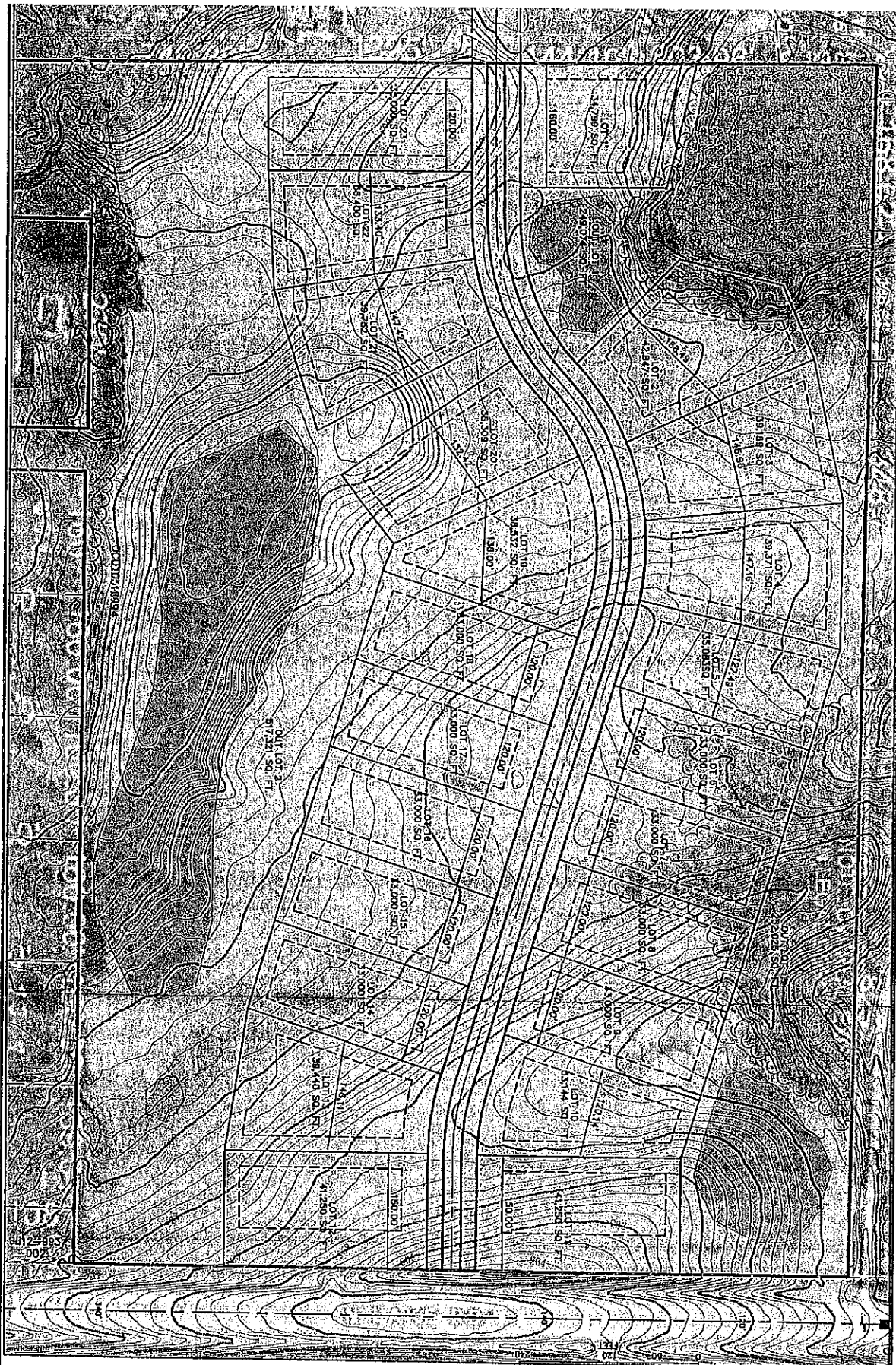
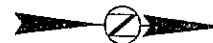


EXHIBIT A

SCALE 1" = 100'



CONCEPTUAL LAND USE PLAN (2023)  
 BUTCHART PROPERTY SPHEREERIS DEVELOPMENT  
 TAX KEY # OCOT 0512994  
 SE 1/4 S20, T8N, R7E, TOWN OF OCONOMOWOC

**LAKE COUNTRY ENGINEERING, INC.**  
 Consulting Engineers - Surveyors  
 970 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066  
 Phone (262) 569-9331 Fax (262) 569-9318

SCALE 1" = 100'  
 DRAFTED BY: B. DAVY  
 CHECKED BY: H. J. J.  
 DATE: SEPTEMBER 25, 2023

REVISION	DATE	REMARKS

EXHIBIT B  
LOOKING SOUTH

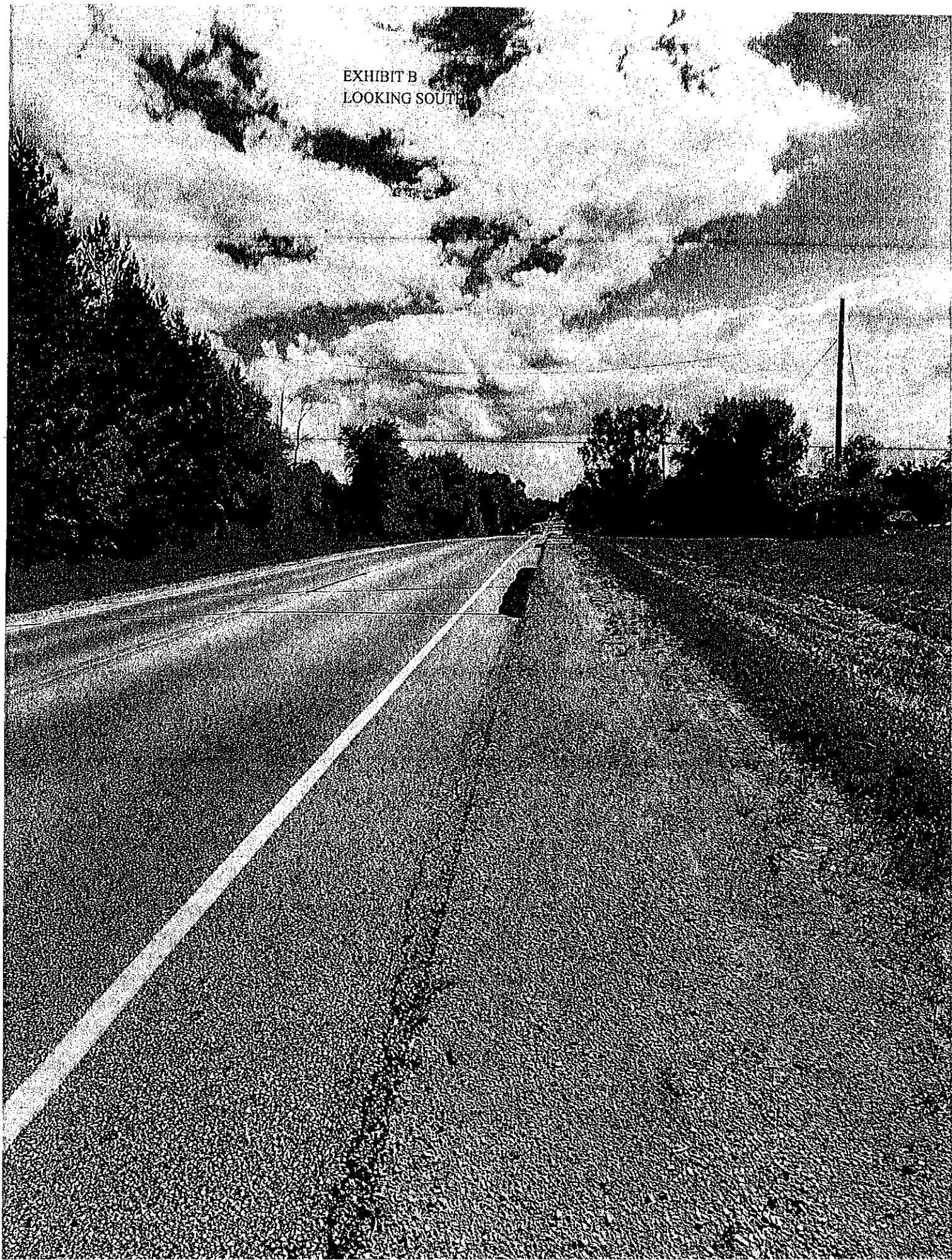
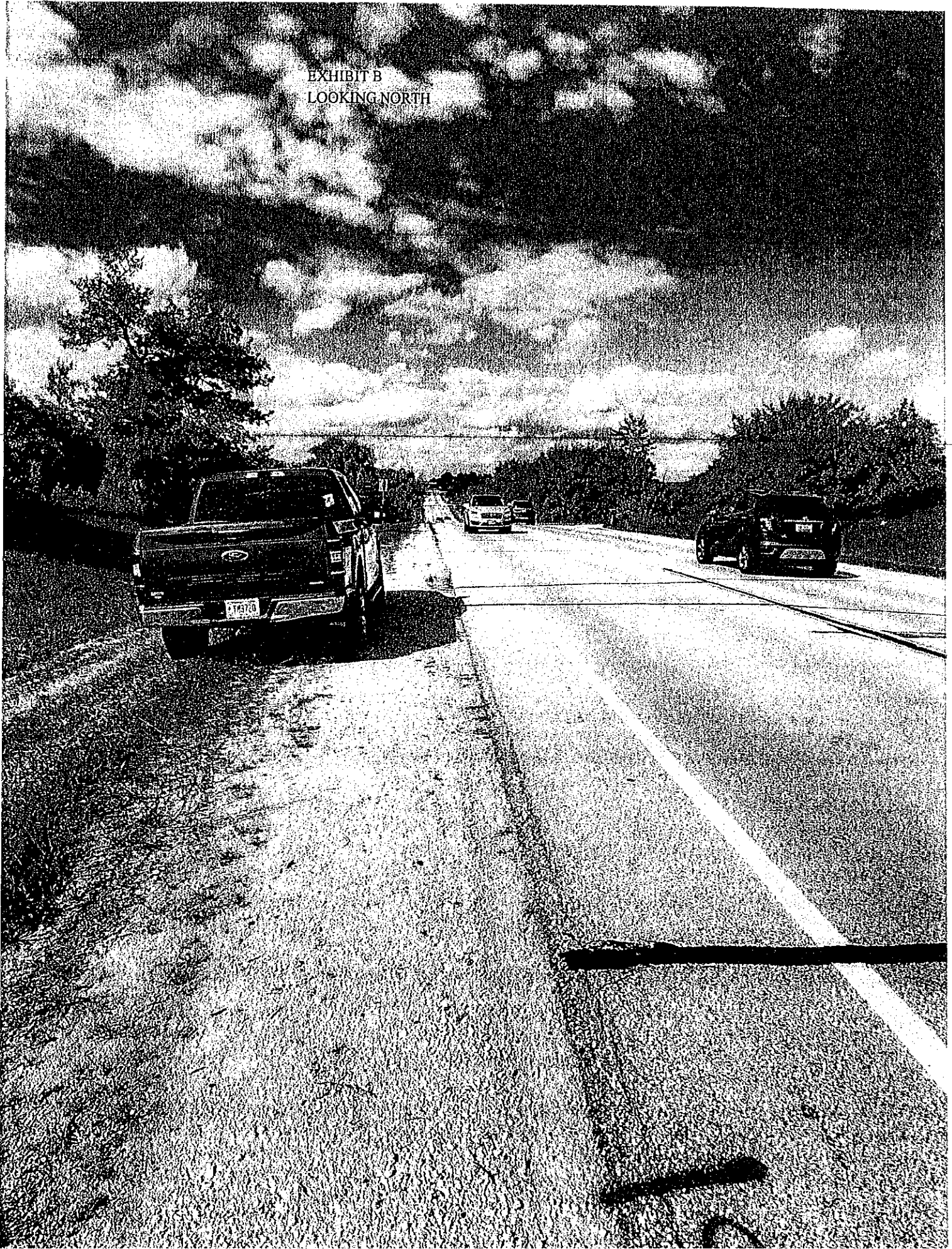




EXHIBIT B  
LOOKING NORTH



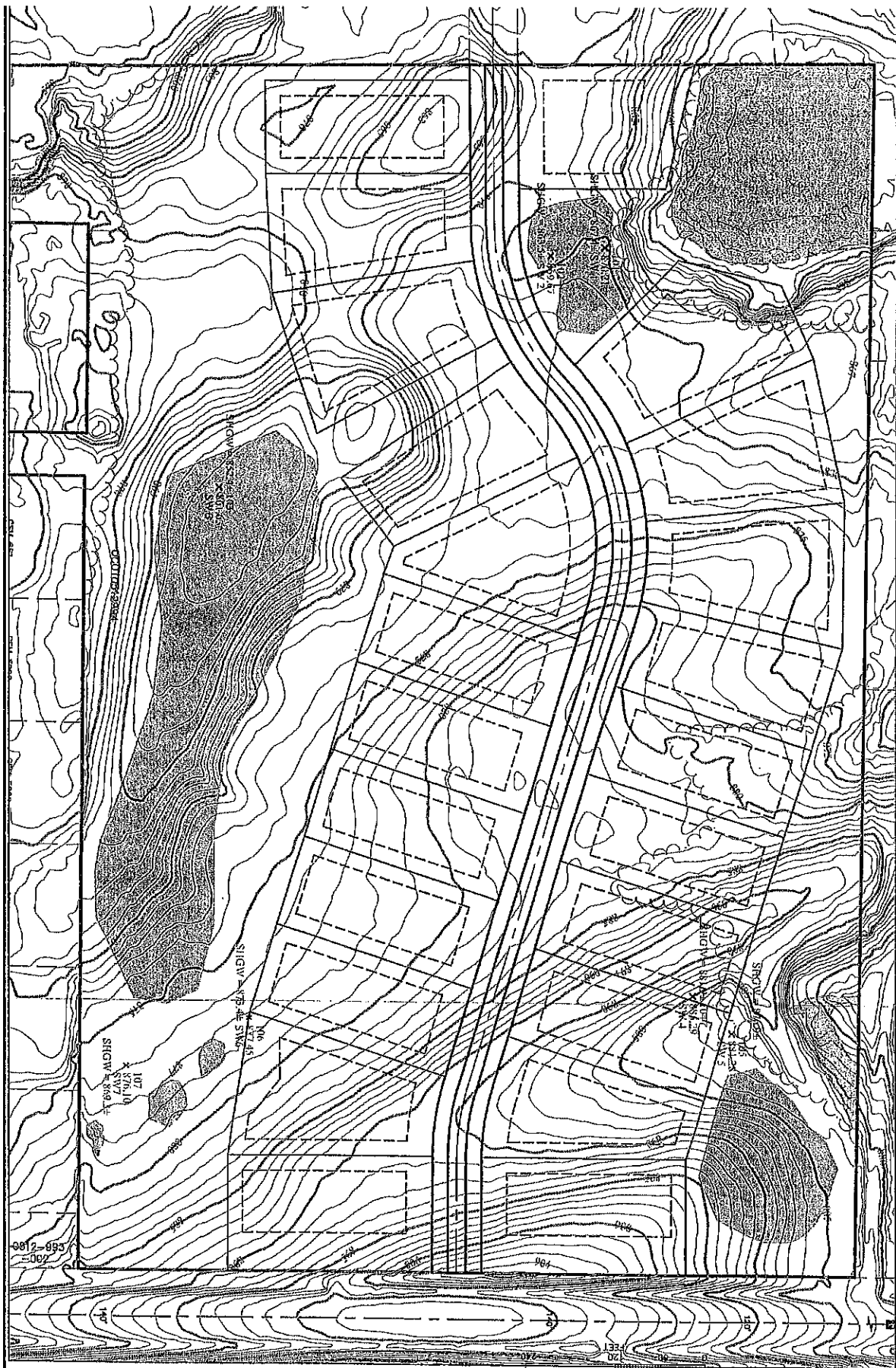
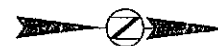
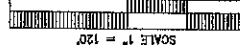


EXHIBIT C



SHEET #	PROJ. # 22-3681	STORM WATER SOIL BORING LOCATIONS BUTCHART PROPERTY SPHEREIS DEVELOPMENT TAX KEY # OCOT 0612994 SE 1/4 S20, T8N, R17E, TOWN OF OCONOMOWOC	LAKE COUNTRY ENGINEERING, INC. Consulting Engineers - Surveyors 870 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066 Phone (262) 569-5331 Fax (262) 569-5216	SCALE: 1" = 10'	REVISION DATE	REMARKS
				DRAWN BY: JAWAY CHECKED BY: LSW DATE: SEPTEMBER 28, 2023		

SCALE: 1" = 150'  
 DRAFTED BY: G.D.V.  
 CHECKED BY: E.W.R.  
 DATE: SEPTEMBER 28, 2003

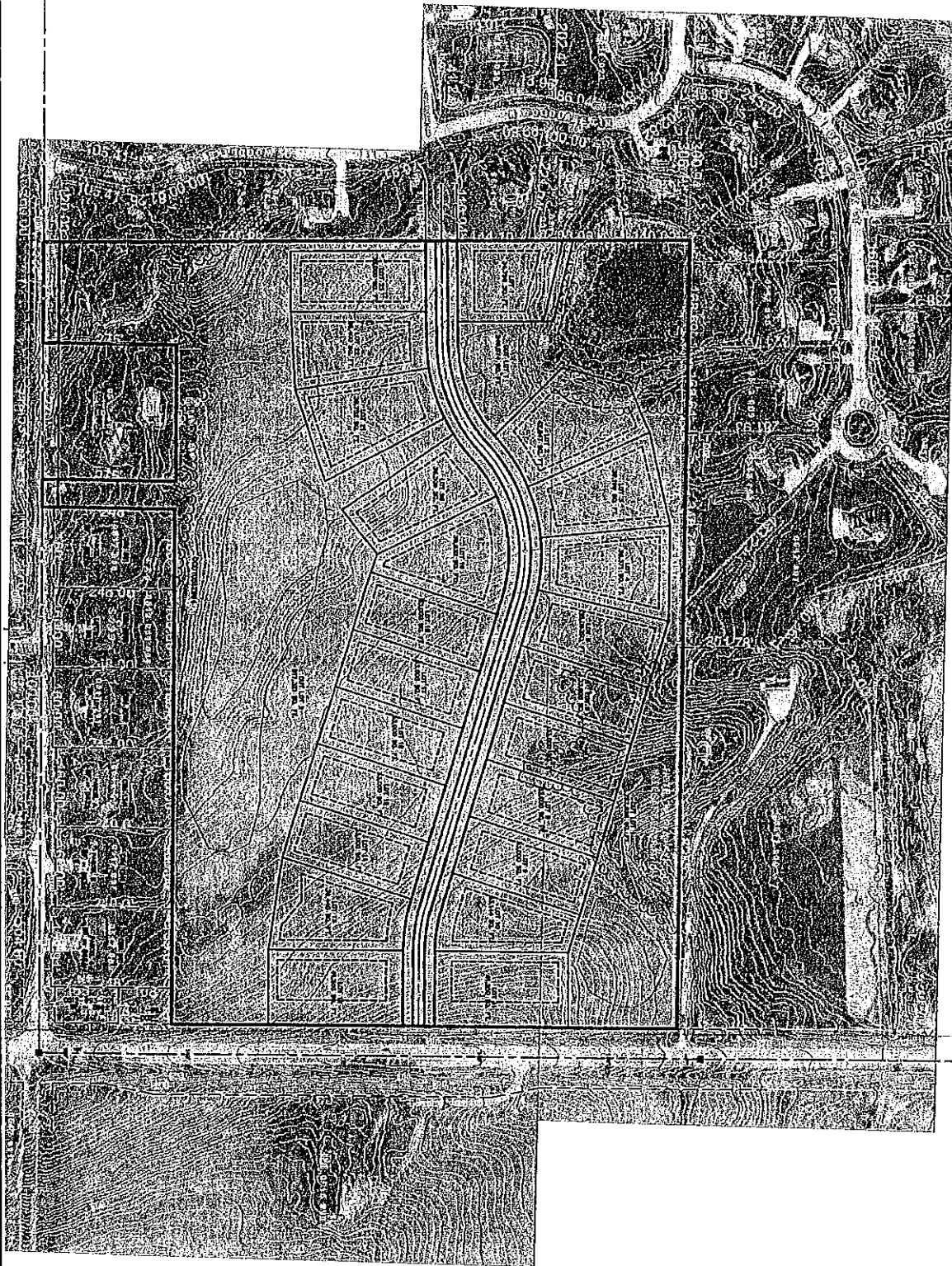
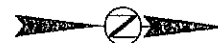
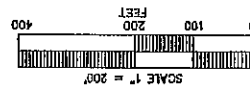


EXHIBIT D



SHEET #  
FROM  
22-5481

OVER ALL TOPO MAP  
BUTCHART PROPERTY SPHEREIS DEVELOPMENT  
TAX KEY # OCOT 0512994  
SE 1/4 S20, T8N, R17E, TOWN OF OCONOMOWOC

**LAKE COUNTRY ENGINEERING, INC.**  
Consulting Engineers - Surveyors  
870 S. Silver Lake Street, Suite 105, Oconomowoc, WI 53066  
Phone (262) 559-9331 Fax (262) 559-9316

SCALE 1" = 200'  
DRAFTED BY: R. DAVY  
CHECKED BY: J. D.  
DATE: SEPTEMBER 28, 2003

REVISION DATE	REMARKS

## NOTICE OF PUBLIC HEARING

**NOTICE IS HEREBY GIVEN** that a Joint Public Hearing will be held by the Town of Oconomowoc Plan Commission and Town Board and a Staff Representative of the Waukesha County Department of Parks and Land Use - Planning and Zoning Division, on **Monday, August 7, 2023, at 5:30 p.m.** at the Oconomowoc Town Hall, located at W359 N6812 Brown St., Oconomowoc, WI, 53066, to consider a rezoning request (**RZ125**) of **Jon Spheeris (applicant), 175 E. Wisconsin Avenue, Oconomowoc, WI, 53066**, for property owned by **Lakelands, Inc. (Dan Butchart, owner), W296 S7739 Crossgate Drive, Mukwonago, WI, 53149-8774**, to rezone the property described below from the A-T Agricultural Transition District to the R-2 Residential District to develop a single family residential subdivision. The property is described as part of the S  $\frac{1}{2}$  of the SE  $\frac{1}{4}$  of Section 20, T8N, R17E, Town of Oconomowoc, Tax Key No. OCOT 0512.994. More specifically, the property is located 250 feet north of the intersection of N. Lake Road and Lac La Belle Drive.

For additional information regarding this public hearing, please contact Jacob Heermans of the Waukesha County Department of Parks and Land Use at (262) 548-7790.

All interested parties will be heard.

### WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE

Dale R. Shaver, Director  
515 W. Moreland Blvd.  
Waukesha, WI 53188

Legal notice to be published in the  
West Now on  
Wednesday, July 19, 2023 and  
Wednesday, July 26, 2023.



WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE  
PLANNING AND ZONING DIVISION  
515 W. Moreland Blvd. Room AC230  
WAUKESHA, WISCONSIN 53188  
(262) 548-7790

Email [pod@waukeshacounty.gov](mailto:pod@waukeshacounty.gov) Website [www.waukeshacounty.gov/planningandzoning](http://www.waukeshacounty.gov/planningandzoning)

**PETITION TO AMEND THE MAP OF THE COUNTY ZONING CODE and/or**  
**THE COUNTY SHORELAND AND FLOODLAND PROTECTION ORDINANCE**

Fee Pd. \$ \_\_\_\_\_ Receipt No. \_\_\_\_\_ Appl received by \_\_\_\_\_ Petition No. \_\_\_\_\_

Town Zoning \_\_\_\_\_ County Zoning \_\_\_\_\_ Shoreland Zoning Only \_\_\_\_\_

Shoreland and Town Zoning \_\_\_\_\_ Shoreland and County Zoning \_\_\_\_\_

City/Village and/or Shoreland Annexed Area \_\_\_\_\_

\*\*\*\*\*  
**HONORABLE BOARD OF SUPERVISORS/COMMON COUNCIL/BOARD OF TRUSTEES IN  
THE TOWN/CITY/VILLAGE OF Oconomowoc WAUKESHA COUNTY, WISCONSIN:**

I/We, the undersigned, owner(s) of the property described below, located in the Town/City/Village of  
Oconomowoc do hereby petition to amend the MAP of the County  
Zoning Code and/or the County Shoreland and Floodland Protection Ordinance on this  
date, 11-22-2022, in the following manner:

Existing Zoning Classification(s): A-T

Proposed Zoning Classification(s): R-2

Existing Use(s) of the subject property: farmland

Proposed Use(s) of the subject property: subdivision

Tax Key No(s). OCOT 512994 (see attached)

Address of subject premises: N. Lake Rd (vacant land)

Legal Description of the subject property:

See attached

Reasons/Conditions, which justify a change in the zoning (attach additional pages, if necessary):

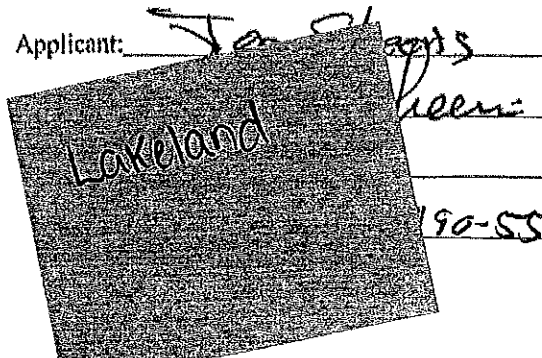
see attached

Owner: Dan Buehert

Lakeland, Inc.

X

Applicant: Janet Smith



Daytime Phone No. (262) 506-4905

190-5558

Email address and/or fax number if you would like a copy of the staff report forwarded to you prior to the

(Waukesha Co. Park and Planning Commission) meeting: jon@cb-elite.com

The following information must be submitted with this application:

1. One electronic copy of a detailed and accurate site plan/map or plat of survey (preferred) drawn TO SCALE, showing the location of the proposed zoning district boundaries, the location and use of the buildings on the subject property, and the use of all properties within 300 feet of the subject property.
2. A filing fee payable to the Waukesha County Department of Parks and Land Use (inquire as to the current fee amount).

Note: Review of this application may include a site inspection.

The undersigned owner hereby certifies that all of the above statements, information and attachments contained herein are true and accurate to the best of his or her knowledge and belief. By signing this form, the owner or his/her authorized agent is giving their consent for the Dept. of Parks and Land Use to inspect the site as necessary and related to this application even if the property has been posted against trespassing pursuant to Wis. Stat.; and serves as your acceptance of the wetland statement included on your Property Owner letter issued with your permit, as applicable.

Signature of Owner \_\_\_\_\_

Date of Filing \_\_\_\_\_

Signature of Applicant Jon Sheerin

Date of Filing \_\_\_\_\_

N:\PRKANDLU\Planning and Zoning\Rezones\FORMS\Zoning Map amendment application blank.doc

Revised 02 16 22

**Owner:**

Lakelands Inc  
Neil B Butchart C/O  
S23W22907 Hinsdale Rd  
Waukesha, WI 53186-6310

**Owner Occupied:  
Property Address:**

County: Waukesha  
Taxed by: Town Of Oconomowoc  
Taxkey # OCOT0512894

**Assessments**

Assessment Year	Property Class	Land Assessment	Improvement Assessment	Total Assessment	Percent Of Change	Acres	Ratio
2021	Agricultural Land	\$ 9,000		\$ 9,000		30.000	
2021	Agricultural Forest	\$ 8,300		\$ 8,300		5.000	
2021	Undeveloped	\$ 2,500		\$ 2,500			
- 2021	Total of Multiple Classes	\$ 19,800		\$ 19,800	-1.000↓	35.000	0.893468739
+ 2020	Total of Multiple Classes	\$ 20,000		\$ 20,000	1.523↑	35.000	0.936897017
+ 2019	Total of Multiple Classes	\$ 19,700		\$ 19,700	7.065↑	35.000	0.983348871
+ 2018	Total of Multiple Classes	\$ 18,400		\$ 18,400	0.000-	40.000	0.939607242
+ 2017	Total of Multiple Classes	\$ 18,400		\$ 18,400	4.545↑	35.000	0.972652136
+ 2016	Total of Multiple Classes	\$ 17,600		\$ 17,600	0.000-	35.000	0.950601719
+ 2015	Total of Multiple Classes	\$ 17,600		\$ 17,600	0.000-	35.000	0.944215203
+ 2014	Total of Multiple Classes	\$ 17,600		\$ 17,600	-0.565↓	35.000	0.981373277
+ 2013	Total of Multiple Classes	\$ 17,700		\$ 17,700	-0.562↓	35.000	0.970770545

**Tax**

Tax Year	Total Tax	First Dollar	Lottery Credit	Net Tax	Special Taxes	Special Assessment	Special Charges	Full Pay Amount	Ratio
2021	\$252.59			\$252.59				\$252.59	0.893468739
2020	\$256.45			\$256.45				\$256.45	0.936897017
2019	\$248.31			\$248.31				\$248.31	0.983348871
2018	\$250.80			\$250.80				\$250.80	0.939607242
2017	\$247.31			\$247.31				\$247.31	0.972652136
2016	\$248.92			\$248.92				\$248.92	0.950601719
2015	\$254.86			\$254.86				\$254.86	0.944215203
2014	\$247.96			\$247.96				\$247.96	0.981373277
2013	\$279.45			\$279.45				\$279.45	0.970770545

**Property**

<b>Building Square Feet :</b>	<b>Year Built :</b>	<b>Township :</b>
<b>Bedrooms :</b>	<b>Year Remodeled :</b>	<b>Range :</b>
<b>Full Baths :</b>	<b>Effective Year Built :</b>	<b>Section :</b>
<b>Half Baths :</b>	<b>Air Conditioning :</b>	<b>Quarter :</b>
<b>Total Rooms :</b>	<b>Fireplace :</b>	<b>Pool :</b>
<b>Number of Stories :</b>	<b>Number of Units :</b>	<b>Attic :</b>
<b>Building Type :</b>		<b>Basement :</b>
<b>Exterior Wall :</b>		<b>Heat :</b>
<b>Exterior Condition :</b>		<b>Garage :</b>
<b>Land Use :</b>		<b>School District : 4060 Oconomowoc Area</b>
<b>Zoning :</b>		<b>Historic Designation :</b>

**Legal Description**

Pt S1/2 SE1/4 Sec 20 T8N R17E; Corn NW Cor S1/2; E 1105.5 Ft; S 1325 Ft; S88°35'E 197.6 Ft; N1°25'E 275 Ft; S88°35'E 270 Ft; S1°25'W 275 Ft; S88°36'E 1015.45 Ft; N1°09.5'E 165 Ft; S88°35'E 132 Ft; N1°09.5'E 1160 Ft; Wly 1640 Ft To Bgn :: Ex Hwy :: Ex Vol 1082/64 Deeds & Ex R1363/551 :: Vol 984/649 Deeds

**Notes**

Information provided is deemed reliable but not guaranteed (2021)

## REZONE PARCEL DESCRIPTION

UNPLATTED LANDS BEING PART OF THE SE 1/4 AND PART OF THE SW 1/4 OF THE SE 1/4 OF SECTION 20, TOWN 8 NORTH, RANGE 17 EAST, TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 20, TOWN 8 NORTH RANGE 17 EAST, THENCE N 89°33'15" W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 20, 1091.50 FEET TO THE POINT OF BEGINNING; THENCE N 89°33'15" W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 20, 55.95 FEET; THENCE N 00°26'45" E, 275.00 FEET; THENCE N 89°33'15" W, 270.00 FEET; THENCE S 00°26'45" W, 275.00 FEET TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 20; THENCE N 89°33'15" W, ALONG THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 20, 199.50 FEET TO AN EXTENSION OF THE EAST LINE OF CERTIFIED SURVEY MAP 4345; THENCE N 00°35'27" W, ALONG THE EXTENSION OF THE EAST LINE AND SAID EAST LINE OF CERTIFIED SURVEY MAP 4345 AND THE EAST LINE OF WOODLAKE SUBDIVISION, 1336.97 FEET TO THE SOUTH LINE OF WOODLAKE PRESERVE SUBDIVISION ALSO BEING THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 20; THENCE S 88°46'24" E, ALONG THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 20; 1573.83 FEET TO THE WEST RIGHT-OF-WAY OF NORTH LAKE DRIVE ALSO KNOWN AS S.T.H. 67; THENCE S 00°07'14" W, ALONG THE WEST RIGHT-OF-WAY OF NORTH LAKE DRIVE ALSO KNOWN AS S.T.H. 67, 1042.41 FEET; THENCE N 89°34'18" W, ALONG AN EXTENSION OF THE NORTH LINE OF CERTIFIED SURVEY MAPS 661 AND 1341, 1030.04 FEET TO THE NORTHWEST CORNER OF PARCEL 1 OF CERTIFIED SURVEY MAP NUMBER 661; THENCE S 00°25'42" W, ALONG THE WEST LINE OF PARCEL 1 OF CERTIFIED SURVEY MAP NUMBER 661, 272.59 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS HAVING AN AREA OF 1,720,086 SQUARE FEET OR 39.488 ACRES.

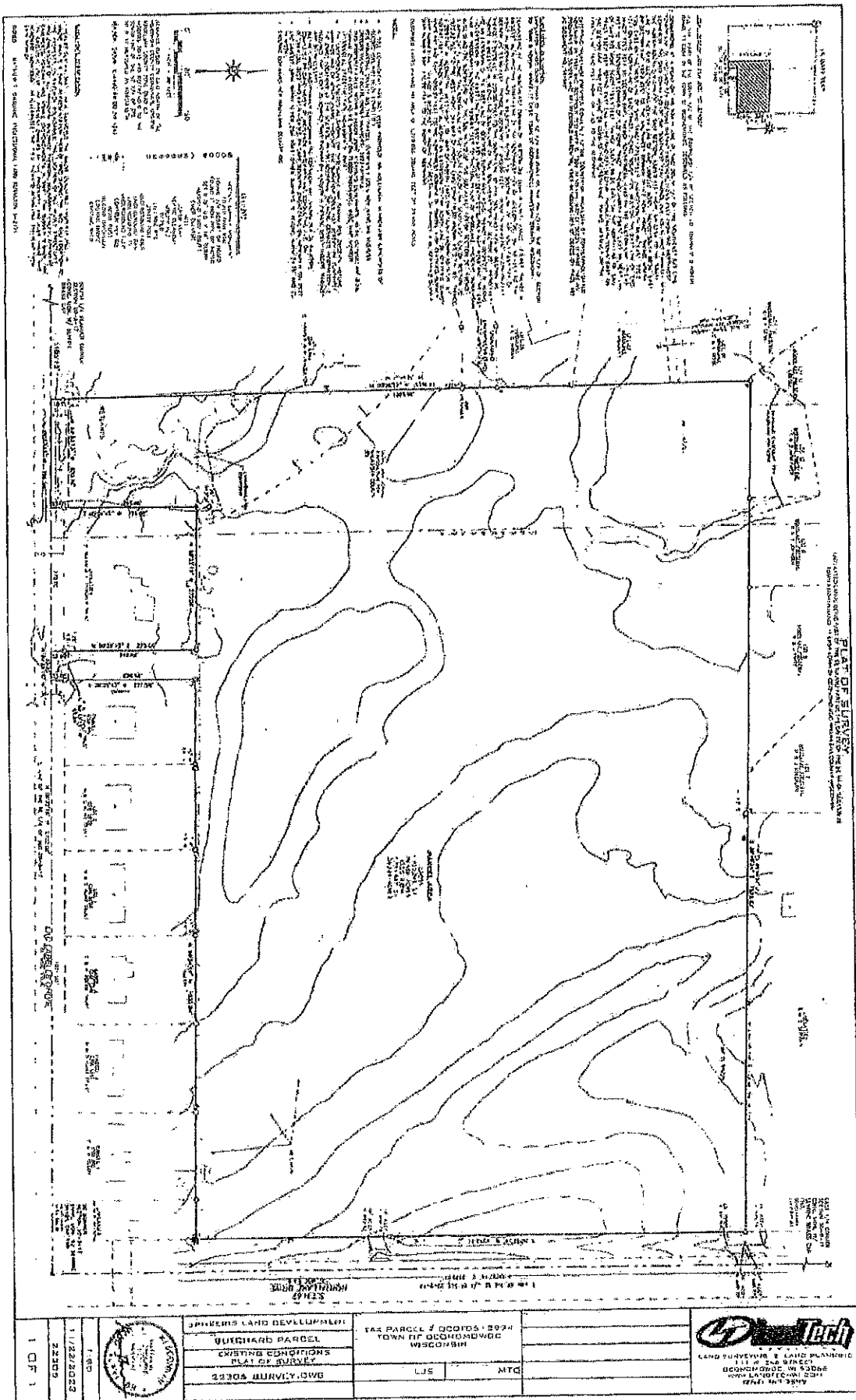
Prepared By:



111 WEST 2<sup>ND</sup> STREET  
OCONOMOWOC, WISCONSIN  
262-367-7599

## Butchart Rezoning

We are requesting this parcel to be rezoned from A-T to R-2 as most of all the surrounding lands are zoned R-2 so this would be compatible with the surrounding neighborhoods. In addition, all the lands within 300 feet are also zoned R-2 or agricultural. The town planner is in favor of this rezoning as the A-T land is intended to be rezoned.



STATE OF WISCONSIN



WAUKESHA COUNTY



SEP 28 2023

TOWN OF OCONOMOWOC



Town of Oconomowoc  
Clerks Office

Jeffrey C. Herrmann, Town Planner  
Lori Opitz, Clerk/Treasurer or  
Lynn Grosch, Deputy Clerk/Treasurer  
(920).474.4449 FAX (920).355.4091

**SUBMISSION DEADLINE:**

**4:00PM on Monday, (2) weeks** prior to the next Plan Commission meeting. **You** must supply the Plan Commission with information regarding your application; which is listed below. The Plan Commission meets the 1<sup>st</sup> & 3<sup>rd</sup> Monday and is subject to change at the Town's discretion.

**APPLICATION FOR TOWN OF OCONOMOWOC PLAN COMMISSION AGENDA**

**\*\*\*Required submittals shall include (1) set original size drawings and original paper work as well as an electronic copy of all submittals; such as 11"x17" drawings and paperwork for the electronic packet**

Owner Michael + Kathleen Kemp Daytime Phone Number (414)-870-7972  
Applicant (if different from owner) \_\_\_\_\_ E-mail address: MSKemp@blacklinelimos.com  
Property Address N65W35115 Road J, Oconomowoc, WI. 53066  
Mailing Address (If Different) 32330 Fordham Ct. Brookfield, WI 53005  
Zoning Classification \_\_\_\_\_ Land Use Plan Designation \_\_\_\_\_

Legal Description Lot 19? Part of Lot 20 of the Amended Plat of Oakdale  
part of the SE 1/4, of Section 23, T8N, R. 17E, Town of Oconomowoc

**SPECIFIC REQUEST (please check appropriate item)**

- ☒ Certified Survey Map  
☐ Site Plan & Plan of Operation  
☐ Accessory Building Size  
☐ Subdivision

- ☐ Lot Not Abutting Public Road  
☐ Conditional Use  
☐ Zoning Amendment  
☐ Other: \_\_\_\_\_

**DETAILS OF PROPOSAL:**

I, the undersigned, have been advised that pursuant to the Town of Oconomowoc Ordinance to utilize Section §66.0627, Wisconsin Statutes, if the Town of Oconomowoc Attorney, Town Engineer, or any other Town Professional provides services to the Town as a result of my activities, whether at my request or at the request of the Town, I shall be responsible for the fees incurred by the Town. Also, I have been advised that prior to obtaining final approval, all costs incurred by the Town must be paid in full. If a dispute arises as to the amount of the fees incurred, said dispute shall be forwarded to the Town of Oconomowoc Town Board of Supervisors for resolution.

\_\_\_\_\_  
(Property Owner -Signature)

\_\_\_\_\_  
(Applicant-Signature)

\_\_\_\_\_  
(Property Owner -Print Name)

\_\_\_\_\_  
(Applicant-Print Name)

\_\_\_\_\_  
(Date)

Danielle Wrasalstad  
(Town Representative Accepting Form)

Property Owner: Michael + Kathleen Skemp

Tax Key No(s): OCOT 0524020

Municipality: Town of Oconomowoc

Submittal Date: \_\_\_\_\_

Review Date: \_\_\_\_\_

Review Deadline: \_\_\_\_\_

Reviewer: \_\_\_\_\_

## WAUKESHA COUNTY LAND DIVISION CHECKLIST

### DEVELOPMENT IDENTIFICATION

	Prelim. Plat	Final Plat	CSM	Notes
Development Title			X	
Property Location ( ¼ section, section, township, range, county)			X	
Location of map showing section or a government subdivision of section in which subdivision lies, nearby streets, water bodies, oriented the same as main drawing.			X	
Name, address and phone number of owner and subdivider			X	
Project Engineer, name, address and phone number			—	
Surveyor's certificate signed, dated and sealed and same revision dates on all pages			X	

### MAPPING FEATURES

North arrow and graphic scale • verify scale			X	
Sheet numbers (total no. of sheets)			4	
Legend (well, septic, rod/stake, resource boundaries)			X	
Public access to water bodies • Min 60' wide at ¼ mile intervals unless DNR exempts or public space already provided			X	
Survey monumentation or other attributes as required by s. 236. Wis. Stats.			X	
Lot number(s) and dimensions (including Outlots) • Verify measurements, as applicable			X	
Curve information on curve, or in a table			—	
Check for duplicate plat names (not allowed)			—	
Topographic contours (existing and proposed) not to exceed 2' interval			X	
Drain tile location disclosure and function			—	
All structures existing on-site and within 50 feet on adjoining property and use of structures to be retained			X	
Minimum shore frontage required • 100' for a lot served by septic • 65' for a lot served by sewer			—	



	Prelim. Plat	Final Plat	CSM	Notes
Existing easements, proposed easements – type and dimensions • Drainage, SW, access, utility, conservancy, CRP, etc.			X	None per Title policy
Bearings and length of exterior boundaries			X	
Owners of abutting unplatted lands, names of subdivisions and/or CSM Nos., parks, cemeteries, etc.			X	
<b>LOT STANDARDS</b>				
Approvals for lot not abutting a public road or a flag lot • Town/County PC approval, note on Plat/CSM • Driveway Access and Maintenance Agreement reviewed and approved, as necessary			—	
Average Lot width • Verify District requirements are met • Corner lots 20% wider if less than 150'			—	
Depth to width ratio compliance • Avoid long/narrow, wide/shallow • Depth shall not be less than 150'			—	
Building envelopes available on double or triple frontage lots			—	
Appropriate design and lot configuration			—	
Lot sizes (sq. ft. OR acres)			X	
Pre-planned building sites, including driveways and any preplanned waste disposal systems, when limited by existing physical features			—	
<b>PLANNING AND ZONING DOCUMENT CONSISTENCY</b>				
Consistency with land use density and natural resources standards set forth in the County Development Plan and Town/Extraterritorial plans			—	
Park and Open Space Plan • Ownership (existing/proposed) • Trails, including bike trails • CC interested parties • Parks comments provided • Easement for recordation, as applicable			—	
Local and County zoning • Validate Town and County zoning are correct or remove from CSM			—	
Verify SFPO/Zoning Code requirements • Number of accessory structures • Accessory building footprint • Accessory structure w/o principal structure • Structure offsets and setbacks • One principal structure per lot, unless CU • Use complies with Zoning			—	

	Prelim. Plat	Final Plat	CSM	Notes
<b>RESOURCE BOUNDARIES</b>				
100 year Floodplain limits (delineated elevation and contour) as made available by FEMA, DNR and SEWRPC <ul style="list-style-type: none"> <li>• Source and date of delineation</li> <li>• Boundary clearly marked</li> <li>• Directional arrows, as applicable</li> </ul>			X	Per Fema
Wetlands on or adjacent to the site <ul style="list-style-type: none"> <li>• Source and date of delineation</li> <li>• Delineation report</li> <li>• DNR/ACOE concurrence if requested</li> <li>• Boundary clearly marked</li> <li>• Directional arrows, as applicable</li> <li>• Hydric Soils/Aerial indicators</li> </ul>			—	
Resource boundary legend			X	
Check prior converted wetland resources			—	
Wetland/Floodplain setbacks			—	
Designated primary and secondary environmental corridors and isolated natural resource areas, woodland features <ul style="list-style-type: none"> <li>• Source and date of delineation</li> <li>• Delineation report</li> <li>• Clearly identified woodland boundary</li> <li>• Directional arrows, as applicable</li> <li>• SEWRPC concurrence if requested</li> <li>• Building envelope, as applicable</li> </ul>			—	
Resource preservation restrictions <ul style="list-style-type: none"> <li>• Wetlands</li> <li>• Floodplain</li> <li>• PEC/SEC/INRA</li> </ul>			X	
Ordinary high water mark on any navigable water body <ul style="list-style-type: none"> <li>• Source and date of delineation</li> <li>• Navigable waterway statutory note</li> </ul>			X	
Water features (lakes, rivers, ponds, streams, tributaries, drainage ditches) <ul style="list-style-type: none"> <li>• Navigability determinations</li> <li>• Intermittent/non-navigable water bodies</li> </ul>			X	
Delineated Shoreland jurisdiction <ul style="list-style-type: none"> <li>• "Waukesha County Shoreland and Floodland Protection Ordinance Jurisdictional Limits"</li> <li>• Boundary clearly marked</li> <li>• Provide directional arrows</li> </ul>			X	
<b>SOILS AND ENVIRONMENTAL HEALTH</b>				
Soil types and boundaries			X	
Location of soil borings with numerical cross-reference to data (location and depth need to be determined) See Sec.5.1(C) of WSCCO <ul style="list-style-type: none"> <li>• One test per lot</li> </ul>			—	

	Prelim. Plat	Final Plat	CSM	Notes
Soil boring and testing data or sewer service availability letter from municipality and SEWRPC			—	
Landfill, manure or other waste storage facility locations on site and consistent with existing Administrative rules or within 1200' (Registry of Waste Disposal Sites of Wisconsin) Y / N • If yes, contact Steve Todd for comments			—	
Foundation limitations due to: High groundwater Y / N Bedrock Y / N Stormwater facilities (vertical/horizontal separation) Y / N ▪ Basement groundwater/bedrock note or identified elevations			—	
Location of wells (onsite and offsite within 50' of proposed septic or 100' of proposed stormwater facilities)			X	
Location of existing private sanitary facilities, if known				
PSE for existing septic systems				
Sanitary Permit for new private septic systems if building permitted prior to CSM				
Environmental Health Abandonment report				
Environmental Health letter				
<b>STORMWATER</b>				
Stormwater management facilities • Location and type			—	
Preliminary Stormwater Management and Erosion Control Plan Approval Letter  If at least 1 acre of disturbance or ½ acre of impervious surface, the applicant must complete the following checklists: <u>Site Plan Checklist</u> <u>Erosion Control Plan Checklist</u> <u>Stormwater Management Plan Checklist</u>  If less than 1 acre of disturbance and less than ½ acre of impervious surface, only the Site Plan checklist shall be completed			—	
Final Stormwater Management and Erosion Control Plat Approval Letter • Access Easement • Stormwater Easement • <u>Certificate of Compliance</u> • Horizontal and Vertical setbacks • Well setbacks • Groundwater elevation or notes • Ownership responsibility identified			—	

	Prelim. Plat	Final Plat	CSM	Notes
<b>TRANSPORTATION</b>				
Right-of-way and street locations, name, width, bearing, and existing access drives, including existing and proposed street extensions from adjacent parcels <ul style="list-style-type: none"> <li>• Verify Street and Highway Width Map</li> <li>• Road reduction source and date</li> <li>• Duplicate road names in same zip code (not allowed)</li> </ul>			X	
Road frontage requirements met Min 30' on a public road			X	
Identify Public dedication parcels and right-of-way dedications with note, "Dedicated to the public for roadway purposes".			—	
Vision corners and vision corner easement note			—	
Building or setback lines from state highways (when required by State through Trans 233)			—	
Cul de sac length <ul style="list-style-type: none"> <li>• Max 600' (County)</li> <li>• Check municipality length restrictions</li> </ul>			—	
Street extensions/temporary cul de sacs			—	
Access easements, limitations, restrictions to adjacent roads			—	
Streets follow natural terrain <ul style="list-style-type: none"> <li>• Review topography</li> </ul>			—	
Consistent with Jurisdictional Highway Systems Plan			—	
County or State Access Permit			—	
County DPW or State DOT Approval Letter <ul style="list-style-type: none"> <li>• Complies with min sight distance</li> </ul>			—	
<b>NATIONAL HISTORIC INVENTORY, NATURAL/CRITICAL SPECIES REVIEW</b>				
Natural area and critical species <ul style="list-style-type: none"> <li>• SEWRPC review</li> </ul>			—	
Historic or cultural features (i.e., Indian mounds) per State Historical Society of WI Division of Historian Preservation Archeological Site Inventory <ul style="list-style-type: none"> <li>• State Archaeologist review</li> </ul>			—	
<b>MISCELLANEOUS ORDINANCE REQUIREMENTS</b>				
Legal Lot(s) of Record <ul style="list-style-type: none"> <li>• Structure over a lot line</li> <li>• Substandard to NR 115 size requirements</li> </ul>			—	
Outlot ownership and purpose			—	
Letter of credit or financial assurance			—	
Deed restriction <ul style="list-style-type: none"> <li>• Accessory structure w/o principal structure</li> <li>• FLP density restriction</li> <li>• Additional reqs. per Ordinance</li> </ul>			—	
Remnant parcel waiver and note on CSM			—	

	Prelim. Plat	Final Plat	CSM	Notes
Open Space Maintenance Agreement			—	
Number of Accessory structures approved by Town Plan Commission			—	
Cross reference permits (Rezone, CU, etc.)			—	
<b>REVIEW ENTITIES/SIGNATURE CERTIFICATES</b>				
Signature Certificates			X	
Owner/Surveyor Certificate reference to Waukesha County Ordinances and correct municipalities			X	
Consent of Mortgagee <i>Only if mortgage on the property &amp; 1 of the following:</i> <ul style="list-style-type: none"> <li>• Dedication of streets/public areas</li> <li>• Creation of easement via CSM</li> <li>• Adding unplatted lands to a lot</li> </ul>			—	No mortgage per client
Waukesha County signature block (Dale R. Shaver)			X	
Ottawa Planner review prior to signatures			—	
PLS Certification that states: <ul style="list-style-type: none"> <li>• Compliance with statute</li> <li>• Under whose direction</li> <li>• Legal description</li> <li>• Correct representation of all exterior boundaries</li> <li>• <b>PLS not RLS</b></li> </ul>			X	
Extra-territorial jurisdiction <ul style="list-style-type: none"> <li>• 1½ miles of all Villages and C. of Delafield</li> <li>• 3 miles of all Cities except Delafield and Pewaukee**</li> </ul> <b>**Pewaukee maintains jurisdiction within 1 mile of the Town of Lisbon only</b>			X	

Note: shaded cells -- not applicable

updated 11/1/2019

#### Division Contacts

**Environmental Health: (Septic Soil Tests, PSE, Abandonment Reports)**

Skylar Behm, [sbehm@waukeshacounty.gov](mailto:sbehm@waukeshacounty.gov), 262-896-8300

**(Landfills, Properties Dedicated to the County)**

Steve Todd, [stodd@waukeshacounty.gov](mailto:stodd@waukeshacounty.gov), 262-896-8300

**Public Works: (County Highway Access Permits, Restrictions, Right-of-way)**

Jason Mayer, [jmayer@waukeshacounty.gov](mailto:jmayer@waukeshacounty.gov), 262-548-7740

**Land Resources: (Groundwater Separation, Form A Soil Tests, Stormwater Certificate of Compliance)**

Alan Barrows, [abarrows@waukeshacounty.gov](mailto:abarrows@waukeshacounty.gov), 262-896-8300

**(Stormwater Engineering and Review)**

Leif Hauge, [lhauge@waukeshacounty.gov](mailto:lhauge@waukeshacounty.gov), 262-896-8300

**Parks: (Park and Open Space Land Acquisitions)**

Rebecca Mattano, [rmattano@waukeshacounty.gov](mailto:rmattano@waukeshacounty.gov), 262-548-7790

**Waukesha County**  
**Certified Survey Map Data Sheet & Submittal Form**

Owner Name Michael & Kathleen Skemp  
Owner Address 32330 Fordham Ct.  
Brookfield, WI 53005  
Owner Phone No. 414-870-7972  
Email Address mskemp@blacklinelimos.com

Surveyor Name Matthew t. O'Rourke  
Surveyor Company LandTech Surveying  
Surveyor Phone No. 262-367-7599  
E-mail Address morourke@landtechwi.com

Town Oconomowoc Section 23

Property Address N65W35115 Road J, Oconomowoc, WI., 53066

Tax Key No. OCOT0524020

REASON FOR CSM: COMBINATION OF PARCELS

**Please submit electronic version of CSM to [pod@waukeshacounty.gov](mailto:pod@waukeshacounty.gov)**  
**The enclosed submittal checklist must be completed prior to CSM review**

**For Office Use Only:**

FORMAL SUBMITTAL				SIGNATURE SUBMITTAL		
Date Received	90 day Due Date	Date of Approval	Date of Denial	Date Received	Date of Approval	Date of Denial

File No. \_\_\_\_\_ Review Fee: \_\_\_\_\_ Date Paid: \_\_\_\_\_ Receipt Number: \_\_\_\_\_

Notes:

**Cross references to other files (RZ, CU (esp. a PUD), BOA, WCDP amendment, etc.):**

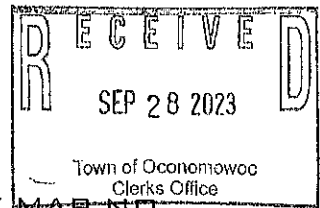
## CSM SUBMITTAL CHECKLIST

PLEASE CHECK THE APPROPRIATE BOX

YES	NO	NA	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Is the Certified Survey Map to <b>scale</b> , signed, sealed, and dated by the Surveyor with the <u>same</u> revision dates on <u>all</u> pages?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Do you have a copy of the CSM Land Division Review Checklist indicating that all appropriate items have been completed by the Surveyor?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Has the local municipality (Town) been contacted regarding their CSM submittal process?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Do any villages or cities have extraterritorial review authority? If so, have they been contacted regarding their CSM submittal process?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Are there any utilities required? If so, plan accordingly and communicate with the utilities <u>early</u> in the process. Existing and proposed easements must be identified on the CSM.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Does the property contain wetlands that have been field verified? If yes, please submit a copy of the report and indicate the source and date of the delineation on the CSM. Written documentation of DNR concurrence shall also be submitted.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Does the property contain Primary Environmental Corridor, Secondary Environmental Corridor, or Isolated Natural Resource Area that have been field verified? If yes, please submit a copy of the report and indicate the source and date of the delineation on the CSM.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Does the property contain floodplain? Please indicate the elevation, boundary, source, and whether the boundary was field delineated.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Has the Waukesha County Department of Public Works or the State Department of Transportation completed a review of the proposed highway accesses, <i>if applicable</i> ?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Is the property to be served by a private sewage system? If so, has the Waukesha County Environmental Health Division been contacted for review of all lots proposed to be served by septic systems? A soil test must be completed on every new lot created to ensure septic suitability, unless the lot will be served by sewer.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	If there are any existing septic systems or wells, have you completed a Preliminary Site Evaluation (PSE) form or submitted abandonment reports to EHD?
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Has the Waukesha County Land Resources Division completed a review to determine if a Stormwater Permit is required? A Stormwater Permit is required if you create 3 new lots; disturb 1 acre or more of land; propose at least ½ acre of new impervious surface; or propose a road that will serve more than 2 homes. A County Stormwater Permit is not required in the Towns of Eagle or Brookfield; please coordinate with Eagle and Brookfield directly regarding stormwater management.

**The County has 90 days to review the CSM per Chapter 236 Wisconsin State Statutes.**

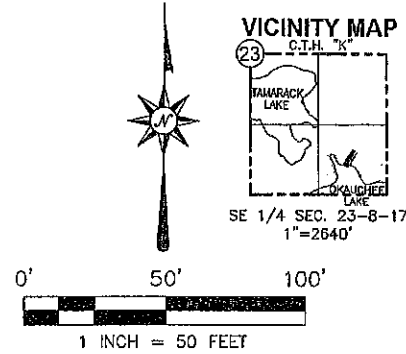
**Please contact the Planning and Zoning Division at (262) 548-7790 or go to [www.waukeshacounty.gov/planningandzoning](http://www.waukeshacounty.gov/planningandzoning) to determine review fees.**



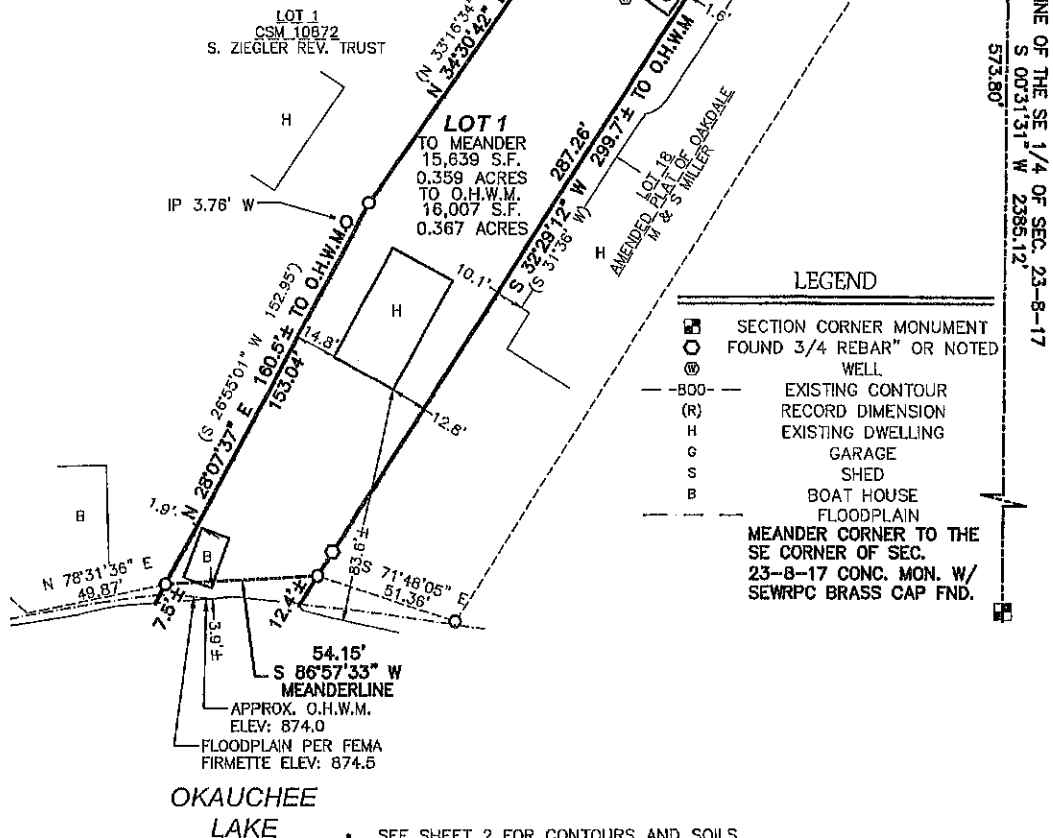
PRELIMINARY

WAUKESHA CO. CERTIFIED SURVEY MAP NO.

LOT 19 AND PART OF LOT 20 OF THE AMENDED PLAT OF OAKDALE SUBDIVISION BEING A PART OF THE SE 1/4 OF SECTION 23, TOWN 8 NORTH, RANGE 17 EAST, TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.



BEARINGS BASED ON GRID NORTH OF THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY ZONE (NAD 83 WISCONS 2011) AND REFERENCED TO THE EAST LINE OF THE SE 1/4 OF SEC. 23-8-17 MEASURED AS S 00°31'31" W.



- SEE SHEET 2 FOR CONTOURS AND SOILS
- SEE SHEET 3 FOR NOTES.
- SEE SHEET 4 FOR FLOODPLAIN AND PRESERVATION RESTRICTIONS.



PREPARED FOR:  
MICHAEL J AND KATHLEEN A SKEMP  
JOINT REVOCABLE LIVING TRUST  
3230 FORDHAM CT.  
BROOKFIELD, WI 53005

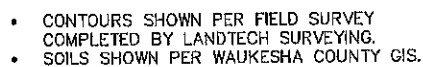
LAND SURVEYING • LAND PLANNING  
111 W. 5TH STREET  
OCONOMOWOC, WI 53066  
WWW.LANDTECH-WI.COM  
(262) 367-7599

DATED 09/14/2023  
JOB# 23185  
SHEET 1 OF 4

THIS INSTRUMENT WAS DRAFTED BY MATTHEW T. O'ROURKE, S-2771



LOT 19 AND PART OF LOT 20 OF THE AMENDED PLAT OF OAKDALE SUBDIVISION BEING A PART OF THE SE 1/4 OF SECTION 23, TOWN 8 NORTH, RANGE 17 EAST, TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.



**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

LOT 19 AND PART OF LOT 20 OF THE AMENDED PLAT OF OAKDALE SUBDIVISION BEING A PART OF THE SE 1/4 OF SECTION 23, TOWN 8 NORTH, RANGE 17 EAST, TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN.

**SURVEYOR'S CERTIFICATE:**

I, MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY:

THAT I HAVE SURVEYED, DIVIDED AND MAPPED A DIVISION OF LAND BEING LOT 19 AND PART OF LOT 20 OF THE AMENDED PLAT OF OAKDALE SUBDIVISION BEING A PART OF THE SE 1/4 OF SECTION 23, TOWN 8 NORTH, RANGE 17 EAST, TOWN OF OCONOMOWOC, WAUKESHA COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SECTION 23, TOWN 8 NORTH, RANGE 17 EAST; THENCE S 00°31'31" W, ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 23, 1811.32 FEET; THENCE N 89°28'29" W, 578.87 FEET TO THE NORTHWEST CORNER OF LOT 18 OF AMENDED PLAT OF OAKDALE AND POINT OF BEGINNING; THENCE S 32°29'12" W, ALONG THE WEST LINE OF LOT 18 OF AMENDED PLAT OF OAKDALE, 287.26 FEET, TO THE BEGINNING OF A MEANDER LINE N 32°29'12" E, 12.4 FEET MORE OR LESS THE ORDINARY HIGH WATER MARK OF OKAUCHEE LAKE; THENCE S 86°57'33" W, ALONG THE MEANDER LINE OF OKAUCHEE LAKE, 54.15 FEET TO A POINT LYING ON THE EAST LINE OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 10872, SAID POINT LYING N 28°07'37" E, 7.5 FEET MORE OR LESS THE ORDINARY HIGH WATER MARK OF OKAUCHEE LAKE; THENCE N 28°07'37" E, ALONG THE EAST LONE OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 10872, 153.04 FEET; THENCE N 34°30'42" E, ALONG THE EAST LONE OF LOT 1 OF CERTIFIED SURVEY MAP NUMBER 10872, 164.39 FEET TO THE SOUTH RIGHT-OF-WAY OF ROAD J; THENCE S 59°38'04" E, ALONG THE SOUTH RIGHT-OF-WAY OF ROAD J, 49.93 FEET TO THE POINT OF BEGINNING.

LANDS AS DESCRIBED HAVING AN AREA OF 16,007 SQUARE FEET OR 0.367 ACRES.

THAT I HAVE MADE SAID SURVEY BY THE DIRECTION OF THE MICHAEL J AND KATHLEEN A SKEMP JOINT REVOCABLE LIVING TRUST OWNER OF SAID LANDS.

THAT SUCH MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF.

THAT I HAVE FULLY COMPLIED WITH PROVISIONS OF S. 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION CONTROL ORDINANCE OF WAUKESHA COUNTY COUNTY, THE TOWN OF OCONOMOWOC AND CITY OF OCONOMOWOC (EXTRATERRITORIAL) IN SURVEYING, AND MAPPING THE SAME.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
MATTHEW T. O'ROURKE, S-2771

**NOTES:**

- THE WAUKESHA COUNTY PARK AND PLANNING COMMISSION GRANTED A WAIVER ON OCTOBER 7, 2010, REDUCING THE WIDTH OF THE ESTABLISHED TOAD RIGHT-OF-WAY OF ROAD J, IN THE AREA ABUTTING THIS CERTIFIED SURVEY MAP FROM 66 FEET TO 48 FEET.
- ANY LANDS BELOW THE ORDINARY HIGH WATER MARK OF A LAKE OR A NAVIGABLE STREAM IS SUBJECT TO THE PUBLIC TRUST IN NAVIGABLE WATERS THAT IS ESTABLISHED UNDER ARTICLE IX, SECTION 1, OF THE STATE CONSTITUTION.
- THE ORDINARY HIGH WATER MARK WAS DETERMINED AS REFERENCED ON CERTIFIED SURVEY MAP NO. 11406 RECORDED ON 1-26-2016.
- FLOODPLAIN IS PER FEMA FIRM MAP No. 55133C039G, MAP REVISED NOVEMBER 5, 2014.
- THE ENTIRE PROPERTY LIES WITHIN THE THE WAUKESHA COUNTY SHORELAND AND FLOODLAND PROTECTION ORDINANCE JURISDICTIONAL LIMITS.
- PARCEL ADDRESS N65W3G115 ROAD J, OCONOMOWOC, WI. 53089.
- NO LOT SHALL BE FURTHER DIVIDED ABSENT THE EXPRESS WRITTEN APPROVAL OF THE TOWN BOARD OF THE TOWN OF OCONOMOWOC. NO NEW LOTS OR OUTLOTS SHALL BE CREATED ABSENT THE EXPRESS WRITTEN APPROVAL OF THE TOWN BOARD OF THE TOWN OF OCONOMOWOC. NO LOT LINE SHALL BE RECONFIGURED IN ANY WAY ABSENT THE EXPRESS WRITTEN APPROVAL OF THE TOWN BOARD OF THE TOWN OF OCONOMOWOC UNLESS OTHERWISE EXPRESSLY AUTHORIZED BY LAW.
- CONTOURS SHOWN PER FIELD SURVEY COMPLETED BY LANDTECH SURVEYING.
- SOILS SHOWN PER WAUKESHA COUNTY GIS.

**WAUKESHA CO. CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

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**TOWN OF OCONOMOWOC PLAN COMMISSION APPROVAL**

APPROVED BY THE PLAN COMMISSION OF THE TOWN OF OCONOMOWOC, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
ROBERT B. PEREGRINE - CHAIRPERSON

\_\_\_\_\_  
JAMES NAVIN - SECRETARY

**TOWN BOARD OF OCONOMOWOC APPROVAL**

APPROVED BY THE TOWN BOARD OF THE TOWN OF OCONOMOWOC, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
ROBERT C. HULTQUIST - CHAIRPERSON

\_\_\_\_\_  
LORI OPITZ - CLERK

**CITY OF OCONOMOWOC PLANNING COMMISSION (EXTRATERRITORIAL)**

THIS LAND DIVISION IS HEREBY APPROVED BY THE CITY OF OCONOMOWOC PLAN COMMISSION THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
ROBERT P. MAGNUS, CHAIRMAN

\_\_\_\_\_  
CHRIS DEHNERT, SECRETARY

**CITY OF OCONOMOWOC COMMON COUNCIL (EXTRATERRITORIAL)**

THIS LAND DIVISION IS HEREBY APPROVED BY THE CITY OF OCONOMOWOC COMMON COUNCIL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
ROBERT P. MAGNUS, MAYOR

\_\_\_\_\_  
DIANE COENEN, CLERK

**WAUKESHA COUNTY DEPARTMENT OF PARKS & LAND USE**

THE ABOVE, WHICH HAS BEEN FILED FOR APPROVAL AS REQUIRED BY CHAPTER 236 OF THE WISCONSIN STATE STATUTES, IS HEREBY APPROVED ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
DALE R. SHAVER, DIRECTOR

**FLOODPLAIN PRESERVATION RESTRICTIONS**

THOSE AREAS OF LAND WHICH ARE IDENTIFIED AS 100 YEAR (1% ANNUAL CHANCE) FLOODPLAIN ON SHEET 1 OF 4 ON THIS CERTIFIED SURVEY MAP SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS:

1. GRADING, FILLING, THE REMOVAL OF TOPSOIL OR OTHER EARTHEN MATERIALS ARE PROHIBITED, UNLESS SPECIFICALLY AUTHORIZED BY THE MUNICIPALITY IN WHICH THIS LAND IS LOCATED AND, IF APPLICABLE, THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES, AND THE ARMY CORPS OF ENGINEERS.
2. THE REMOVAL OF DESTRUCTION OF ANY VEGETATIVE COVER, I.E., TREES, SHRUBS, GRASSES, ETC., IS PROHIBITED, AND WITH THE EXCEPTION, DEAD, DISEASED, DYING, OR INVASIVE VEGETATION MAY BE REMOVED, AT THE DISCRETION OF THE LANDOWNER AND WITH APPROVAL FROM THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION. SILVICULTURAL THINNING, UPON THE RECOMMENDATION OF A FORESTER OR NATURALIST AND WITH APPROVAL FROM THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION, SHALL ALSO BE PERMITTED.
3. GRAZING BY DOMESTICATED ANIMALS, I.E., HORSES, COWS, ETC., IS PROHIBITED.
4. THE INTRODUCTION OF PLANT MATERIAL NOT INDIGENOUS TO THE EXISTING ENVIRONMENT SHALL BE PROHIBITED.
5. PONDS MAY BE PERMITTED SUBJECT TO THE APPROVAL OF THE MUNICIPALITY IN WHICH THEY ARE LOCATED AND, IF APPLICABLE, THE WAUKESHA COUNTY DEPARTMENT OF PARKS AND LAND USE-PLANNING AND ZONING DIVISION, THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS.
6. THE CONSTRUCTION OF BUILDINGS IS PROHIBITED.



## **IRREVOCABLE LETTER OF CREDIT**

**DATE:** October 6, 2023  
**CREDIT NO:** WSB091423A  
**DEVELOPER:** F&M Snyder Family, LLC  
**BENEFICIARY:** Town of Oconomowoc  
W359 N6812 Brown St  
Oconomowoc, WI 53066  
**AMOUNT:** \$2,829,587.81  
**EXPIRATION:** October 6, 2024  
**DEVELOPMENT:** Snyder Farm Development

We hereby issue this Irrevocable Letter of Credit in favor of the Town of Oconomowoc which is available by Beneficiary's draft(s) at sight drawn on Waukesha State Bank.

All drafts requested by Town of Oconomowoc must be accompanied by an affidavit signed by the Town Clerk for the Town of Oconomowoc stating that Developer, its heirs or assigns have defaulted or failed to perform pursuant to the Development Agreement and/or any amendment thereto.

This Irrevocable Letter of Credit may be reduced from time to time as and to the extent that the portion of work required under the Development Agreement is completed, provided, however, that no such reduction shall occur until the Issuer has received a written statement from the Town Clerk for the Town of Oconomowoc. Said statement should set forth the amount of the reduction and the amount of the remaining balance payable under this credit. This Irrevocable Letter of Credit shall be construed under the laws of the State of Wisconsin.

This Irrevocable Letter of Credit is automatically renewable, without amendment, for an additional period of one year from the present or future expiration date unless at least 60 days prior to the then current expiration date we shall notify the Beneficiary that we elect not to renew this Irrevocable Letter of Credit for any additional periods.

We engage with you that drafts drawn under and in compliance with the terms of this credit will be duly honored if presented on or before the expiration date referenced. This ORIGINAL LETTER OF CREDIT must be submitted to Waukesha State Bank at 151 E St Paul Avenue, Waukesha WI by no later than 5:00 p.m. together with any drawings hereunder for our enforcement of any payments affected by us and/or for cancellation.

The undersigned represents he/she possesses the authority to issue this Letter of Credit and so bind the Issuer.

By:   
Jeff Lightfoot, Vice President

# **Waukesha State Bank**

(262) 549-8500 | [www.waukeshabank.com](http://www.waukeshabank.com) | 151 E. St. Paul Ave. | P.O. Box 648 | Waukesha, WI 53187-0648 | Member FDIC

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The undersigned represents he/she possesses the authority to issue this Letter of Credit and so bind the Issuer.

By:   
Jeff Lightfoot, Vice President

## Lightfoot, Jeff

**From:** bill Zach <billzach@live.com>  
**Sent:** Monday, September 4, 2023 8:23 AM  
**To:** Lightfoot, Jeff; David Ruelle  
**Subject:** [External]:Fw: Letter of credit  
**Attachments:** County Irrevocable letter of credit template (1).docx; The Snyder Farm Declaration of Restrictions 062822.pdf

**[EXTERNAL EMAIL]** DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.

See below here guys. Also attached on here is the counties letter of credit form and the current deed restrictions you had asked for Jeff. If you need more just let me know,  
Bill

**To:** bill Zach <billzach@live.com>; jherrmann@townoconomowoc.com <jherrmann@townoconomowoc.com>  
**Subject:** RE: Letter of credit

Bill and Jeff,

Here's a breakdown of the bids received:

<b>Snyder Farm</b>		
<b>LOC Calculations</b>		
<b>Town of Oconomowoc</b>		
<b>Item</b>	<b>Cost</b>	<b>Bid Date</b>
* Electric	\$ 238,362.89	12/1/2022
* Gas	\$ 96,800.50	8/30/2022
Lighting	\$ 9,450.21	11/30/2022
Landscaping	\$ 139,011.24	5/25/2022
<b>Roads</b>	<b>\$ 820,236.00</b>	<b>7/12/2023</b>
<b>Grading/Restoration*</b>	<b>\$ 994,379.00</b>	<b>8/25/2023</b>
<b>Signs</b>	<b>\$ 5,000.00</b>	<b>SEH estimate</b>
Walking Paths	\$ 54,750.00	10/7/2022
	\$ 2,357,989.84	
+20%	\$ 471,597.97	
	\$ 2,829,587.81	
* incl Agric Overseeding		

\* Requesting Reduction in LOC + 20%

Quite a few of the bids are a bit outdated. The WEPCO bids and the landscaping are all about a year old now. I've added in the overseeding of the agricultural areas. While this may not be needed it likely would cover for any bump that will occur when these bids are updated. The Developer's Agreement calls for a 120% to the construction estimate.

Mark Mickelson, PE (WI)  
Principal, Senior Professional Engineer II  
Short Elliott Hendrickson Inc  
414.949.8947 direct | 414.550.1300 mobile  
SEH - Building a Better World for All of Us®

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This email has been scanned by the Symantec Email Security.cloud service.  
For more information please visit <http://www.symanteccloud.com>

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We Energies  
WAOC  
500 S. 116th St.  
West Allis, WI 53214-1000  
www.we-energies.com



September 26, 2023

Zach Building Company  
Bill Zach  
34580 Meadowview CT  
Oconomowoc, WI 53066

Subject: Invoice for Snyder Farm, WR 4729574

Dear Bill Zach:

Thank you for your application for natural gas facilities. Please review the following information.

Cost details:

- The total cost for this project will be \$125,483.00. Additional charges may apply if we encounter unusual conditions, delays in your construction schedule or other changes that you request.
- The cost has been reduced by \$0.00 as credit for 0 meter(s) being set at the time of installation.
- The cost includes \$22,350.00 of seasonal charges for installation from Dec. 1 through March 31. Site must be ready and signed grade verification form submitted by Nov. 1 to avoid seasonal charges.
- Installation cost must be paid in advance of construction.
- This cost is valid for 90 days provided this letter and enclosed drawing are signed and returned with payment, the site is ready, and all other requirements are met.

Payment remittance:

Remit payment, if applicable, using one of the following options. Reference the work request number shown below on your check or when paying via phone or online.

- Personal check.
- Online at [www.we-energies.com/payconstructionbill](http://www.we-energies.com/payconstructionbill).
- Phone at 855-570-0998.

Refund details:

- Refunds are available for up to five years after the main installation and will not exceed the amount of the original cost.
- Refunds in the amount of \$3,338.00 (the permit fee of \$25.00 and seasonal charges are not refundable) may be made for each residential space heating customer connected to this main.
- Refund amounts for multifamily and commercial customers will be individually calculated based on their estimated average annual consumption.

Facility location:

- To avoid damage to underground facilities, you are responsible for locating and marking (with stakes, spray paint or flags) any buried obstructions and private underground facilities like lighting, septic systems, wells, sprinkler systems, etc.
- It is very important that you mark these facilities as We Energies and/or its agents are not responsible for damage to your facilities that are not properly marked before our work begins.
- If you are unable to locate and mark your privately owned buried facilities, you can hire a contractor to do it for you.
- For your safety, we will coordinate with Diggers Hotline to have technicians visit the site to locate underground utilities (such as natural gas, electric, phone, cable, sewer and water). The technicians will mark the facilities with flags and spray paint that will fade after a few weeks.

Construction:

Please consider this information when developing your project timeline:



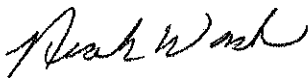
- Once all job requirements are met, allow us a minimum three week lead time for scheduling the installation of natural gas facilities.
- To ensure minimal disturbance to your site, it is best to install our facilities prior to road base, paving, topsoil, and erosion control, but after the installation of sewer, water and right-of-way subgrading.
- The site must be within four inches of final grade and we must be made aware of any changes that have been made since we received preliminary, approved plats.

Surface restoration:

- Surface restoration in the public right-of-way, for main installed beyond your project limits, will be completed according to municipal guidelines.
- Restoration within your development will include backfilling and compacting using existing soil.

As a reminder, you need to sign and return a copy of this letter and enclosed drawing along with your payment, if paying by check. If you have any questions, please call me. I look forward to working with you to make your project a success.

Sincerely,



Nicole Warwick  
Energy Services Consultant  
414-944-5645  
nicole.warwick@we-energies.com

Work Request #: 4729574

☐ I certify the grade was confirmed by a surveying/engineering firm and lot corner stakes are installed.

Estimated date site will be ready for natural gas: \_\_\_\_\_

Accepted by: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

P.S. For more information on the application and construction process for new developments, visit [www.we-energies.com/contractors/builderdeveloper](http://www.we-energies.com/contractors/builderdeveloper).

Enclosures

We Energies  
WAOC  
500 S. 116th St.  
West Allis, WI 53214-1000  
www.we-energies.com



December 1, 2022

Zach Building Company  
Bill Zach  
34580 Meadowview CT  
Oconomowoc, WI 53066

Subject: Invoice for Snyder Farm, WR 4729573

Dear Bill Zach:

Thank you for your application for electric facilities. Please review the following information.

Cost details:

- **The cost for this project will be \$238,362.89.** Additional charges may apply if we encounter unusual conditions, delays in your construction schedule or other changes that you request.
- This cost includes \$48,039.00 of seasonal charges for installation from Dec. 1 through March 31. Site must be ready and signed grade verification form submitted by Nov. 1 to avoid seasonal charges.
- The cost does not include electric service to sewer lift stations, community well pumps, lighting, etc.
- Please advise potential lot buyers that additional charges may apply for service to their building.
- Installation cost must be paid in advance of construction.
- If an additional cost estimate is needed within 12 months, there will be a charge for preparing the new estimate.
- **This cost is valid for 90 days provided this letter and enclosed drawing are signed and returned with payment, the site is ready and all other requirements are met.**

Payment remittance:

Remit payment, if applicable, using one of the following options. Reference the work request number shown below on your check or when paying via phone or online.

- Personal check
- Online at [www.we-energies.com/payconstructionbill](http://www.we-energies.com/payconstructionbill)
- Phone at 855-570-0998

Facility location:

- To avoid damage to underground facilities, you are responsible for locating and marking (with stakes, spray paint or flags) any buried obstructions and private underground facilities like lighting, septic systems, wells, sprinkler systems, etc.
- It is very important that you mark these facilities as We Energies and/or its agents are not responsible for damage to your facilities that are not properly marked before our work begins.

Construction:

Please consider this information when developing your project timeline:

- Once all job requirements are met, allow us a minimum three-week lead time for scheduling electric facility installation.
- The area along the route of our facilities must be graded to within four inches of final grade. Fill, if deeper than three feet, must be compacted prior to the installation of our facilities. If relocation or repair of our facilities becomes necessary because of a grade change greater than four inches, you will be billed the full relocation or repair costs.
- Easements to install and maintain all We Energies facilities, including the right to cut out brush, shrubs and trees must be provided.
- Lot line stakes are required along the proposed route.
- Streets should not be paved or sealed prior to the installation of our facilities.

**Lawn and pavement repair:**

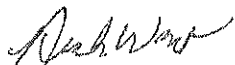
- Repair in the public right-of-way, for facilities installed beyond your project limits, will be completed according to municipal guidelines.
- Repair within your development will include backfilling and compacting using existing soil.
- All cut brush, shrubs and trees will be left at the site along our trench route.

**Refund details:**

- Refunds may be available for up to five years after the energization date and will not exceed the amount of the original cost.
- Refunds in the amount of \$1,434.00 (seasonal charges are not refundable) may be made for each single-phase residential/farm customer connecting to this extension.
- Additional refunds for larger services also may be available up to the original cost. The refund amounts vary based on size of the meter set.

**Your next step is to sign this letter and return it, along with a signed drawing and your payment.** You may wish to make a copy of the letter for your records. Sign and return the enclosed Grade Verification Form **only after its provisions have been met.** Please call me with any questions. I look forward to working with you to make your project a success.

Sincerely,



Nicole Warwick  
Energy Services Consultant  
414-944-5645  
nicole.warwick@we-energies.com

Work Request #: 4729573

☐ I certify the grade was confirmed by a surveying/engineering firm and lot corner stakes are installed.

Accepted by: \_\_\_\_\_

Title: \_\_\_\_\_ Date: \_\_\_\_\_

P.S. For more information on the application and construction process for new developments, visit [www.we-energies.com/contractors](http://www.we-energies.com/contractors).